



Date March 27, 2023.....

RESOLUTION HOLDING PUBLIC HEARING REGARDING REQUEST FROM WESTCO HULL, LLC (OWNER), REPRESENTED BY DEREK WEST (OFFICER) TO AMEND PLANDSM TO REVISE THE FUTURE LAND USE DESIGNATION AND TO REZONE THE PROPERTY LOCATED AT 2101 HULL AVENUE

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on March 2, 2023, its members voted 11-2-1 in support of a motion to recommend **APPROVAL** of a request from Westco Hull, LLC (owner), represented by Derek West (officer), for the proposed rezoning from “N3a” Neighborhood District and “I1” Industrial District to Limited “I1” Industrial District be found not in conformance with the PlanDSM: Creating Our Tomorrow Plan Land Use Plan designation of Low Density Residential; and

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on March 27, 2023, its members voted 11-2-1 in support of a motion to recommend **APPROVAL** of a request from Westco Hull, LLC (owner), represented by Derek West (officer), for the PlanDSM: Creating Our Tomorrow Plan Land Use Plan designation for the subject property from Low Density Residential to Industrial; and

WHEREAS, the City Plan and Zoning Commission has further advised that at a public hearing held on March 27, 2023, its members voted 11-2-1 in support of a motion to recommend **APPROVAL** of a request from Westco Hull, LLC (owner), represented by Derek West (officer), to rezone the Property “N3a” Neighborhood District and “I1” Industrial District to Limited “I1” Industrial District to allow use of the property for a use that includes office and industrial components subject to the following condition:

- 1. Subject to the prohibition of outdoor storage as a principal or accessory use.; and

WHEREAS, the Property is legally described as follows:

LOTS 2, 3, AND 4 PERIN PLACE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA. ; and

WHEREAS, on March 6, 2023, by Roll Call No. 23-0297, it was duly resolved by the City Council that the request for approval of the proposed amendment and rezoning be set down for hearing on March 27, 2023, at 5:00 p.m., at the City Council Chambers; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place for hearing on said proposals; and

WHEREAS, in accordance with said notice, those interested in said proposals, both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council.



Roll Call Number

Agenda Item Number

55

Date March 27, 2023

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed amendment and rezoning are hereby overruled, and the hearing is closed.
2. The proposed amendment to PlanDSM: Creating Our Tomorrow Plan to revise the future land use classification for the Property from Low Density Residential to Industrial is hereby approved.
3. The proposed rezoning of the Property, as legally described above, "N3a" Neighborhood District and "I1" Industrial District to "I1" Industrial District to allow use of the property for a use that includes office and industrial components, subject to the condition set forth above, is hereby approved, subject to final passage of an ordinance rezoning the Property as set forth herein.

MOVED BY _____ TO ADOPT. SECOND BY _____.

FORM APPROVED:

/s/ Chas M. Cahill

Chas M. Cahill
Assistant City Attorney

(ZONG-2023-000012) (COMP-2023-000010)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
SHEUMAKER				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED

APPROVED

Mayor

CERTIFICATE

I, LAURA BAUMGARTNER, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk

March 3, 2023

Communication from the City Plan and Zoning Commission advising that at their March 2, 2023 meeting, the following action was taken regarding a request from Westco Hull, LLC (owner), represented by Derek West (officer), to rezone the property located at 2101 Hull Avenue from “I1” Industrial District and “N3a” Neighborhood District to “I1” Industrial District to allow use of the property for a use that includes office and industrial components.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 11-2-1 as follows.

Commission Action:	Yes	Nays	Pass	Abstain	Absent
Francis Boggus	X				
Dan Drendel	X				
Leah Rudolphi	X				
Carol Maher	X				
Abby Chungath	X				
Kayla Berkson	X				
Chris Draper	X				
Todd Garner	X				
Johnny Alcivar		X			
Justyn Lewis			X		
Carolyn Jenison					X
William Page		X			
Andrew Lorentzen	X				
Emily Webb	X				
Katie Gillette	X				

APPROVAL of Part A) The requested rezoning be found not in conformance with the existing PlanDSM future land use designation of Low Density Residential on the eastern portion of the subject property.

Part B) Approval of the requested amendment to the PlanDSM: Creating Our Tomorrow Plan to revise the future land use classification Low Density Residential to Industrial.

Part C) Approval of the requested rezoning from “N3a” Neighborhood District to “I1” Industrial District, subject to the prohibition of outdoor storage as a principal or accessory use.

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Part A) Staff recommends that the requested rezoning be found not in conformance with the existing PlanDSM future land use designation of Low Density Residential on the eastern portion of the subject property.

Part B) Staff recommends approval of the requested amendment to the PlanDSM: Creating Our Tomorrow Plan to revise the future land use classification Low Density Residential to Industrial.

Part C) Staff recommends approval of the requested rezoning from “N3a” Neighborhood District to “I1” Industrial District, subject to the prohibition of outdoor storage as a principal or accessory use.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The subject property was zoned “M-1” Light Industrial District at the time the existing building began in 2017. Construction of the existing building concluded in early 2019 and was in conformance with the code requirements that existed at that time. The subject property was rezoned to “N3a” Neighborhood District and “I1” Industrial District as part of the citywide Zoning Ordinance and Map update effective on December 16, 2019. A new use to store equipment for fire damage, water damage, mold remediation equipment and processing for Servpro is being proposed and requires the requested rezoning for the eastern portion of the subject property from “N3a” Neighborhood District to “I1” Industrial District.

Should the rezoning request be approved, the applicant would be required to prepare a Site Plan and building elevations for review before the property can be occupied by the proposed use. Any development must comply with all applicable site plan and design regulations of the Planning and Design Ordinance.

2. **Size of Site:** 1.067 acres (46,500 square feet).

3. **Existing Zoning (site):** “N3a” Neighborhood District & “I1” Industrial District.

The eastern portion of the subject property consists of 24,015 square feet zoned “N3a” Neighborhood District. The western portion of the subject property consists of 22,484 square feet zoned “I1” Industrial District.

4. **Existing Land Use (site):** The subject property contains a 22,650-square foot, two-story office and warehouse building which had previously been used by an after-market automotive parts sales and installation.

5. **Adjacent Land Use and Zoning:**

North – “I1”; Use is warehousing.

South – “N3a” & “I1”; Uses are single-household residential and office and warehousing.

East – “N3a”; Use is single-household residential.

West – “I1”; Use is warehousing.

- 6. General Neighborhood/Area Land Uses:** The subject property is located on the southeast corner of the Hull Avenue and Delaware Avenue intersection.
- 7. Applicable Recognized Neighborhood(s):** The subject property is located in the Fairmont Park Neighborhood Association. All neighborhood associations were notified of the public hearing by emailing of the Preliminary Agenda on February 10, 2023 and of the Final Agenda on February 24, 2023.

Additionally, separate notifications of the hearing for this specific item were mailed on February 10, 2023 (20 days prior to the public hearing) and February 20, 2023 (10 days prior to the public hearing) to the Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. All notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Fairmont Parks Neighborhood Association notices were sent to Jeff Witte, 2501 Morton Avenue, Des Moines, IA 50317.

The applicant will provide a summary of the neighborhood meeting at the public hearing.

- 8. Relevant Zoning History:** The subject property was rezoned to “N3a” Neighborhood District and “I1” Industrial District as part of the citywide Zoning Ordinance and Map update effective on December 16, 2019.
- 9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Low Density Residential on the eastern portion of the subject property and Industrial on the western portion of the subject property.
- 10. Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. PlanDSM Creating Our Tomorrow: PlanDSM Creating Our Tomorrow:** The applicant is requesting that the future land use designation for the eastern portion of the subject property be revised from “Low Density Residential” to “Industrial”. PlanDSM describes this designation as follows:

Low Density Residential: *Small scale mixed use development typically located at the intersections of collector and/or arterial streets and along transportation corridors. Non-residential development is designed to serve the immediate neighborhood and include small retail, offices, restaurants, and service oriented development. Low-medium density residential may be included in mixed use development.*

Industrial: *Accommodates industrial development and limited supporting commercial uses. Development in this classification could have a large impact on adjoining properties and the environment which would need to be mitigated.*

The eastern portion of the subject property is currently zoned “N3a” Neighborhood District. The Zoning Ordinance describes “N3a” district as, “intended to preserve the scale and character of residential neighborhoods developed predominantly during the 1950s, 1960s, and 1970s, typically in the ranch or split-level style pursuant to House B building type in section 135-2.14 of this code.”

The applicant is proposing to rezone the subject parcel to the “I1” Industrial District. The Zoning Ordinance describes “I1” district as, “intended for general industrial uses, warehousing, and transportation terminals.”

The subject property is located along Hull Avenue and Delaware Avenue in an area that is primarily industrial. Staff believes that given the generally industrial nature of the corridors it is located on, the requested rezoning is appropriate and conforms to the PlanDSM: Creating Our Tomorrow goal to retain existing industrial land for industrial uses.

However, staff notes that it is located directly adjoining long-term one-household properties. Table 134-3.1-1 states Equipment & Material Storage, Outdoor is permitted by right with applicable supplemental regulations within “I1” District. Given the subject property’s location and the percentage of building coverage compared to the lot size, staff believes that prohibition of any outdoor storage is necessary to avoid negative impacts on the adjoining residential uses.

As part of the site plan review process, the applicant would be required to provide a Heavy Buffer per Section 135-7 of the Municipal Ordinance.

2. **Grading & Storm Water Management:** Any grading is subject to an approved grading permit and soil erosion control plan, as well as a Stormwater Pollution Protection Plan (SWPPP) approved by the Iowa DNR. Tree removal and mitigation calculations must be submitted with any site plan in accordance with Section 42-550 of the Municipal Code.
3. **Utilities:** The subject property has access to all necessary utilities. Easements must be reserved for any existing utilities until such time that they are abandoned or relocated at the applicant’s expense.

SUMMARY OF DISCUSSION

Katherine Drahos presented staff report and recommendation.

Chris Draper asked if the prohibition of outdoor storage would apply if the property were sold to a new owner.

Katherine Drahos stated that prohibition would continue. Zoning conditions run with the land.

Emily Webb asked if the neighborhood association is opposed.

Katherine Drahos states yes.

Katie Gillette asked what would happen to the building if this request was denied.

Jason Van Essen stated the property has some non-conforming rights to uses.

Todd Garner asked if their request is for outdoor storage.

Jason Van Essen stated city staff is under the impression they will not have any outdoor storage but wanted to create that zoning condition given how small the site is.

Todd Garner clarified the commission is being charged with zoning the whole property to I1.

Jason Van Essen stated correct.

Justyn Lewis asked if they would be allowed to operate within the building if this request was denied.

Jason Van Essen stated I1 is a light industrial district that allows a variety of uses, some of which could include outdoor storage.

Christ Draper asked if the "I1" activities took place in the western half of the building, would they be in compliance.

Jason Van Essen stated that's not an interpretation the planning staff makes and would need reviewed by the City's Zoning Enforcement Officer.

Emily Webb asked if the previous owner had not sold the building, would they be able to operate as Cloud Content.

Jason Van Essen stated not currently but prior to the zoning change, this use would have been allowed in the "M-1" district.

Derek West, Cloud Contents, 2101 Hull Avenue stated his business specializes in cleaning personal property from a home or business that has been damaged by fire. They currently operate out of Minnesota and have been working with clients around Des Moines for the past year. Operations will be similar to the previous owner with storage in the rear

and operations in the front. Plumbing work has begun as he is fully invested in the property, and it felt like a minor risk to start that project.

Katie Gillette asked if the building would be put back on the market if the rezoning is not approved.

Derek West stated they would continue to operate out of Minnesota and sell the building.

Andrew Lorentzen asked if he had any problems with the prohibition of outdoor storage.

Derek West stated no.

Chris Draper asked if he would agree to a condition that would limit him to a certain toxicity level.

Derek West stated yes, these cleaning products are used by his employees every day and are nonharmful. He would also be happy to provide the MSDS sheets for all cleaning supplies.

Justyn Lewis asked what happens to waste that is cleaned off the items.

Derek West stated it would go down the drain.

Carol Maher asked if employees wear hazardous material coverings when they are cleaning.

Derek West stated no.

Carol Maher asked what type of trucks would be parked outside.

Derek West stated they have a marked van and two 26-foot trucks that would be parked at the loading docks.

Carol Maher asked if the fire department required notification for this type of work.

Derek West stated no.

Carol Maher asked if the existing dumpsters will be enclosed.

Derek West stated the dumpsters will be removed.

CHAIRPERSON OPENED THE PUBLIC HEARING

Michelle Altenhofen, 2925 E. 21st Street expressed concerns with discharge, air quality, health issues and water contamination.

Chris Draper asked if there are restrictions that she could define that would address her discharge concerns.

Michelle Altenhofen stated meet all EPA standards.

Bridget Botkin, 3818 Amherst Street stated Iowa is known for being the #2 state in the nation for cancer rates, so she is opposed to this request even with conditions for chemical discharge.

Mike Gass, 2635 Boyd Street stated he would like to review the MSDS sheets for the chemicals beings used and information on the PPE they wear during these cleanings.

Jeff Witte, Fairmont Park Neighborhood Association President, 2501 Morton Avenue requested this item be continued given the lack of time to organize a neighborhood meeting, neighboring concerns and all the questions left unanswered.

Will Page asked if he received notification from the city that was mailed on February 10th.

Jeff Witte stated yes, but there was no refence to a meeting on February 16th.

Jason Van Essen stated the city sends notice of the rezoning hearing before the commission. The applicant is charged with inviting property owners to a neighborhood meeting.

Will Page asked if he felt the notification from the applicant wasn't received in due time.

Jeff Witte stated it wasn't.

Derek West stated they are not required to wear any PPE within their cleaning facility.

Abby Chungath asked if there are specific OSHA regulations.

Derek West stated there are general regulations but nothing specific to restoration.

Justyn Lewis suggested he be transparent with the neighborhood, be involved in the community and hire employees from the north and east side of Des Moines. He also suggests the following zoning conditions. Contents going down the drain be reviewed, air admissions be tested and monitored, provide MSDS sheets and biohazard review.

Jason Van Essen stated the applicant is obligated to comply with state and federal regulations, and the building code and fire code on the local level. There isn't a need for these type of zoning conditions.

Will Page asked Mr. West if he would be willing to continue this item to allow more conversation with the neighborhood.

Derek West stated he is willing to do what's required but time is a huge factor as they are currently backed up.

Todd Garner asked if any process within the building require employees to wear respirators.

Derek West stated no.

Todd Garner asked if any chemical is required to be registered with the DNR or local fire department.

Derek West stated no.

CHAIRPERSON CLOSED THE PUBLIC HEARING

Justyn Lewis asked if the purchase of the building would trigger review of potential water contamination and air admissions.

Jason Van Essen stated they are required to go through building and fire code review when they start applying for permits. The commission needs to be mindful of this being a rezoning request and that "I1" makes sense in this location given the surrounding zoning districts.

Chris Draper stated he would move approval of staff recommendation given the location and the enforcement mechanisms in place if this was to become a problem.

Justyn Lewis asked how we reconcile the concerns within the community.

Emily Webb stated the applicant has addressed a lot of the concerns and the regulations already in place will prevent those from happening.

Johnny Alcivar noted this commission is only a recommending body and this request will be taken to City Council for approval.

Dan Drendel stated tonight's discussion has also served the community well.

Will Page stated he will be voting in opposition because the neighborhood has a right to have a conversation with the applicant.

COMMISSION ACTION:

Chris Draper made a motion for:

Part A) The requested rezoning be found not in conformance with the existing PlanDSM future land use designation of Low Density Residential on the eastern portion of the subject property.

Part B) Approval of the requested amendment to the PlanDSM: Creating Our Tomorrow Plan to revise the future land use classification Low Density Residential to Industrial.

Part C) Approval of the requested rezoning from "N3a" Neighborhood District to "I1" Industrial District, subject to the prohibition of outdoor storage as a principal or accessory use.

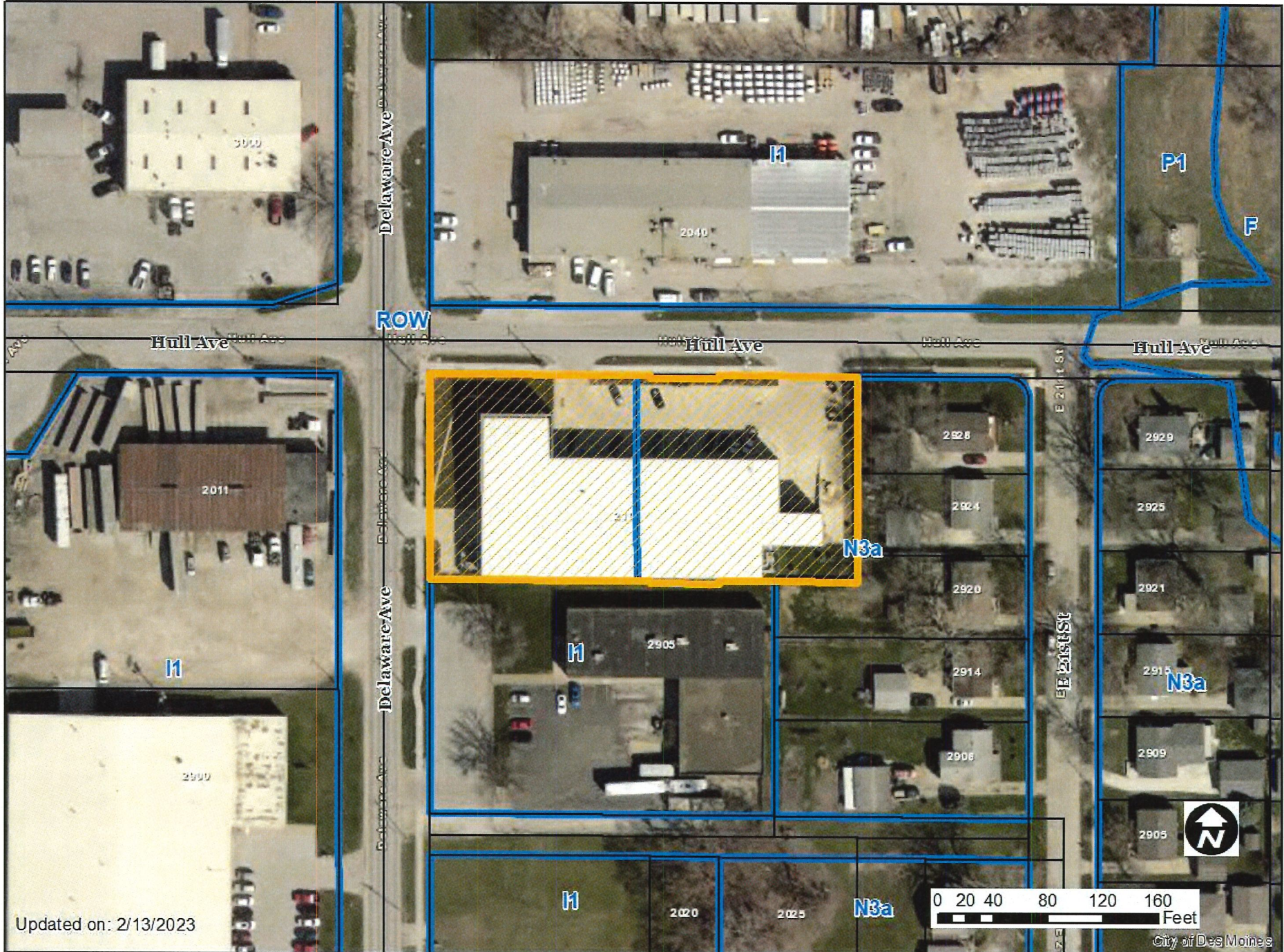
Motion passed: 11-2-1

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jason Van Essen".

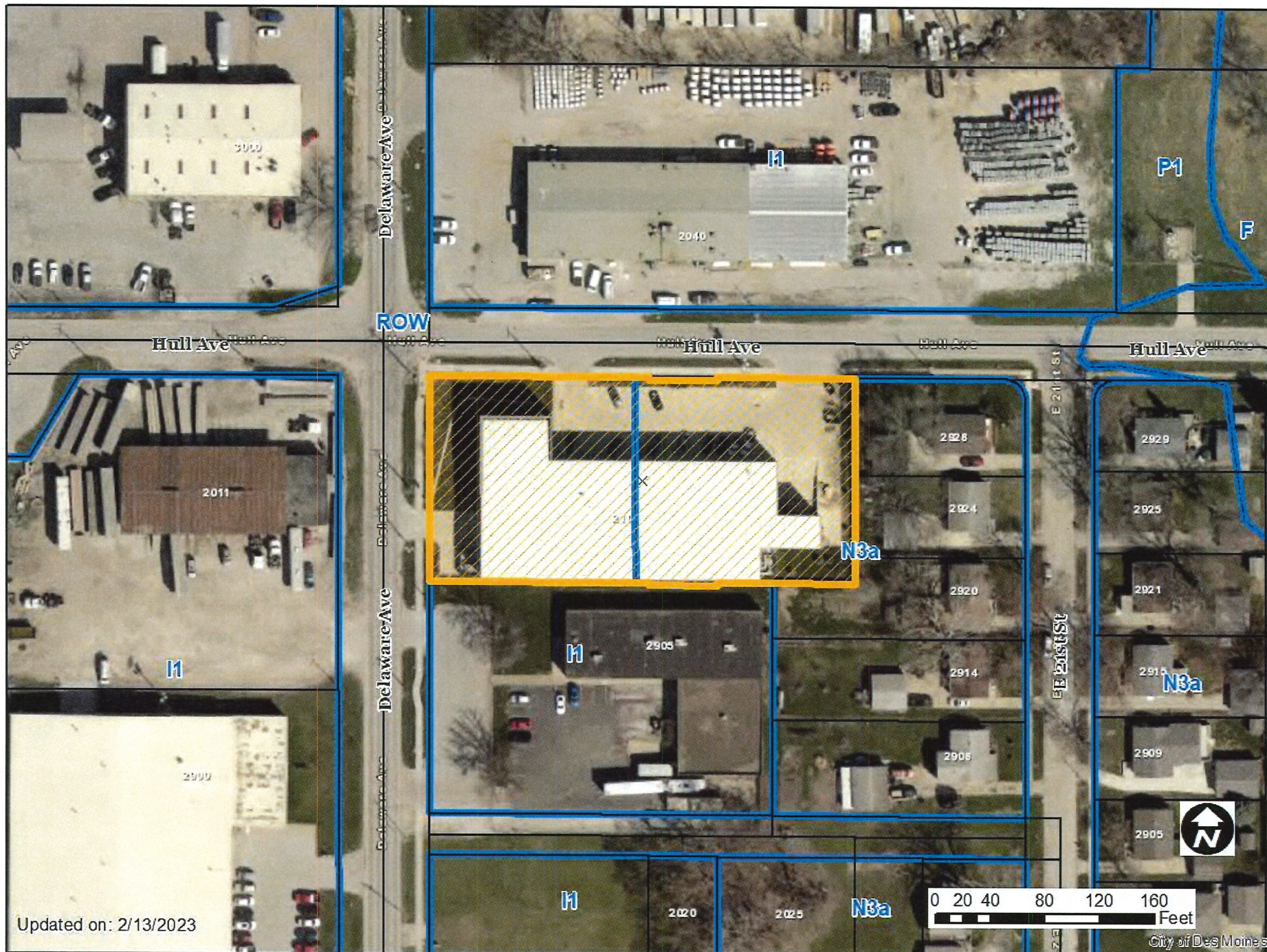
Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh



Updated on: 2/13/2023

1 inch = 93 feet



Updated on: 2/13/2023

1 inch = 93 feet

Mar 11, 2023 09:37

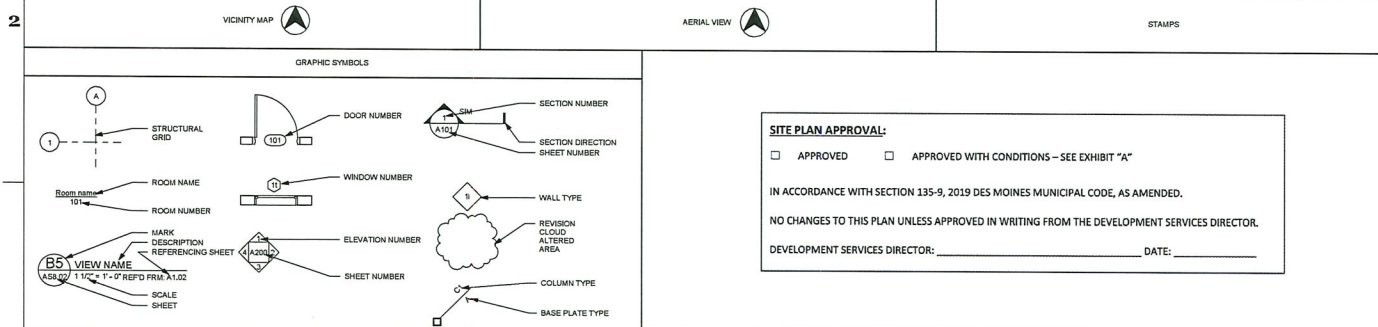
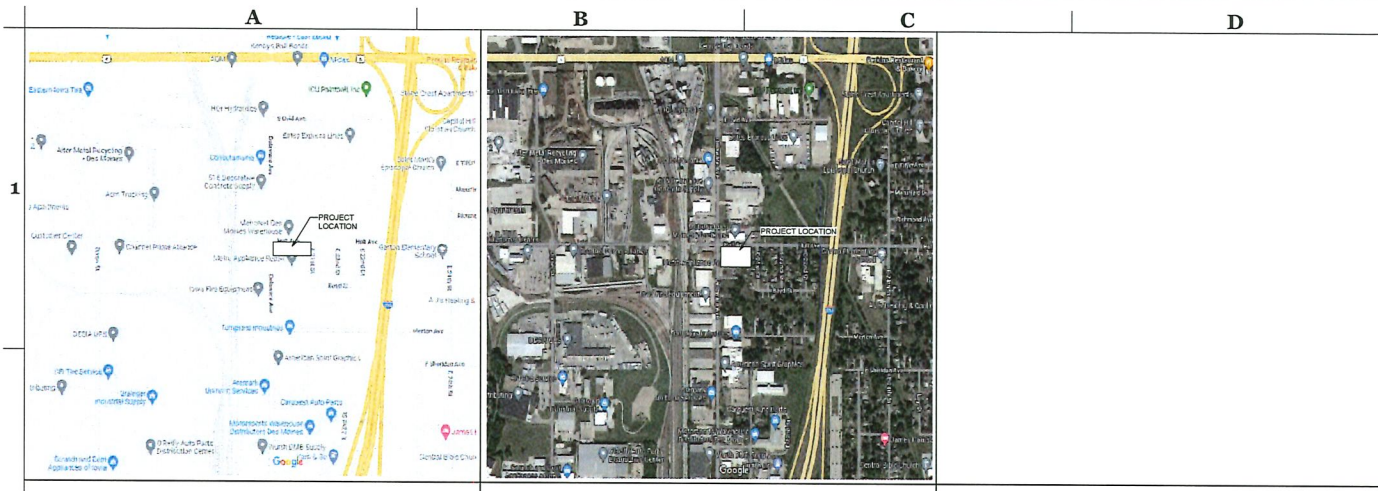


Mar 1, 2023 09:37



Mar 1, 2023 09:38





GRAPHIC SYMBOLS

SITE PLAN APPROVAL:

APPROVED APPROVED WITH CONDITIONS - SEE EXHIBIT "A"

IN ACCORDANCE WITH SECTION 135-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE DEVELOPMENT SERVICES DIRECTOR.

DEVELOPMENT SERVICES DIRECTOR: _____ DATE: _____

ABBREVIATIONS

A	And	CLG	Ceiling	EA	Each	GB	Grab Bar	LB	Pound	PLAM	Plastic Laminate	SCR	Shower Curtain Rod	TS	Tube Steel
AB	At	CTR	Center	EF	Each Face	GYP	Gypsum	GYP	Gypsum	FL	Flank	SM	Similar	TYP	Typical
ADV	Above	CL	Centerline	EW	Each Way	LVL	Lamin Glass (Laminated) (Beam)	MFR	Manufacturer	FLSJB	Flushing	SOD	Slab on Grade	UH	Unit Heater
AFG	Above Finish Grade	CB	Ceramic Base	E	East	HWBD	Hardware	MAS	Masonry	FLYVD	Plywood	SLDG	Sliding	UH	Unit Heater
AFH	Above Finished Floor	CT	Ceramic Tile	ELEC	Electrical	CHFR	Chamfer	MO	Masonry Opening	PVC	Polyvinyl Chloride	SD	Slop Dispenser	UNL	Unless Noted Otherwise
ACC	Accessible	CHFR	Chamfer	EWC	Electrical Water Cooler	CO	Change Order	MTL	Material	PC	Portland Cement Concrete	SLDS	Solid Surface	UTIL	Utility
APC	Acoustical Panel Ceiling	CO	Change Order	EVT	Elevation	HVD	Hardwood	MAX	Maximum	PSF	Pounds Per Square Foot	S	South	V	Vapor
ADDM	Addendum	COL	Column	ED	Equipment	HD	Head	MDF	Medium Density Fiberboard	MECH	Mechanical	SPEC	Specification	VR	Vapor Retarder
ADNL	Additional	CLR	Clear	EPA	Epoxy Paint	HDR	Header	MTL	Metal	PREFAB	Prefabricated	SQ	Square	VAR	Valves
ADH	Adhesive	CONC	Concrete	EQ	Equipment	HDT	Heavy Duty	MEZZ	Mechanize	PREFIN	Prefinished	SF	Square Feet	VERT	Vertical
ADJ	Adjustable	CMU	Concrete Masonry Unit	EST	Estimated	HOT	Hot	MN	Minimum	PT	Pressure Treated	SS	Stainless Steel	VCT	Vinyl Composition Tile
AGOR	Aggregate	CONN	Connection	EQDM	ethylene Propylene	HP	High Point	MIR	Mixed	PROPR	Proposed	STD	Standard	VWL	Vinyl Floor
ALUM	Aluminum	CONST	Construction	EXIST	Existing	HC	Hollow Core	MISC	Miscellaneous	R	Request	STL	Stair	VWC	Vinyl Wall Covering
ANR	Anchor	CONSTR	Construction Documents	EPS	Expanded Polystyrene Board	HORZ	Horizontal	NO	None	R	Radius	STN	Stone	WG	Wall Guards
AB	Anchor Bolt	CONT	Continuous	EXP	Expansion	HORIZ	Horizontal	NOM	Nominal	REF	Reference	STRUC	Structural	WC	Water Closet
APPROX	Approximate	CONTR	Contract	EQJ	Expansion Joint	HMA	Hot Mix Asphalt	NML	Nominal	REF	Reference	STUD	Stud	WT	Weight
ARCH	Architectural	CI	Contractor Installed	EJ	Expansion Joint	INCL	Include	N	North	NCA	Non-Combustible	SA	Supply Air	WF	Welded Wire Fabric
ASE	Architectural Supplemental Information	CP	Contractor Provided	EFS	Exterior Finish & Finish System	INSUL	Insulation	NA	Not Applicable	RENF	Reinforced	SUSP	Suspended	WM	Welded Wire Mesh
ASI	Architectural Supplemental Information	CTRL	Control	EJ	Expansion Joint	ID	Inside Diameter	NC	Not in Contact	RPI	Request for Information	SYS	System	WWM	Welded Wire Mesh
BSMT	Basement	COORD	Control Joint	FO	Face of Concrete	INSUL	Insulation	NTS	Not To Scale	REP	Request for Proposal	TEMP	Temporary	W	West
BM	Beam	CG	Corner Guard	F0	Face of Concrete	INT	Interior	REQD	Required	REQD	Required	TER	Terrazzo	W	Width
BNG	Bearing	CGR	Compigrid	F0M	Face of Masonry	INT	Interior	REGD	Required	REIN	Reinforced	THK	Thickness	WL	Wind Load
BFF	Below Finish Floor	C-TOP	Counterstop	FOF	Face of Finish	INT	Interior	REQD	Required	REQD	Required	TRHD	Treaded	WDW	Window
BTVN	Between	CF	Cubic Feet	FOM	Face of Masonry	INT	Interior	REQD	Required	REQD	Required	TRU	Through	W	Width
BLK	Block	DEM	Demolition	FOW	Face of Wall	INT	Interior	REQD	Required	REQD	Required	TRU	Through	W	Width
BLKG	Blocking	DFT	Depth	FT	Field Verify	KCJ	Keyed Construction Joint	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BO	Board	DTL	Detail	FV	Field Verify	KB	Knock Box	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BO1T	Bottom of	DIAG	Diagonal	FF	Finished End Panel	KO	Knock Out	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BO2	Bottom of	DM	Diameter	FFA	Finished Floor Elevation	LAM	Laminated	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BO3	Bottom of Concrete	DM	Diameter	FE	Finished End Panel	LAV	Lansbury	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BO4	Bottom of Footing	DW	Dishwasher	F0	Face of Finish	LAW	Lansbury	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BE	Bottom of Footing Elevation	DISP	Dispenser	F0M	Face of Masonry	LAV	Lansbury	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BO5	Bottom of Structure	DIR	Door	FOF	Face of Finish	LHR	Left-Hand Reverse	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BRK	Brick	DR	Door	FT	Field Verify	LF	Left-Hand	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
BLD	Building	DL	Down	FTV	Field Verify	LF	Left-Hand	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
CLB	Cabinet	DNL	Down	FTV	Field Verify	LF	Left-Hand	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
CPD	Ceiling	DNR	Down	FTV	Field Verify	LF	Left-Hand	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
CP1B	Ceiling Base Trim	DNG	Drawing	FTV	Field Verify	LF	Left-Hand	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
CP2	Ceiling Pad	DWTR	Damp-welder	FTV	Field Verify	LF	Left-Hand	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without
CIP	Cast In Place	GC	General Contractor	FTV	Field Verify	LF	Left-Hand	REV	Revision	REU	Require	TBD	To Be Determined	WO	Without

Sheet Index

SHEET NUMBER	SHEET NAME
TS	TITLESHEET
GENERAL	
A5000	SITE PLAN NOTES
A5100	SITE PLAN
A5110	DETAILS
A5101	LANDSCAPE PLAN
ARCHITECTURAL	
A200	ELEVATIONS
Grand total	6

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsibility charge. I am a duly licensed Architect under the law of the State of Iowa.

STEVEN G. GRASSO
05116
IOWA
LICENSED ARCHITECT

Name: Steven G. Grasso Date: 01/17/2023
License Number: 05116
My License Renewal Date is June 30, 2024
Paper or prints covered by this Seal: ARCHITECTURAL drawings as listed here.

GTG
Creative Building Solutions That Work

Client
Cloud Contents Site Plan
2101 Hull Ave
Des Moines IA, 50317

Project
Cloud Contents Site Plan
2101 Hull Ave
Des Moines IA, 50317

Architect
GTG Architects, LLC
6505 Merle Hay Road
Johnston, IA 50131
515-528-8178

Structural Engineer
GTG Architects, LLC
6505 Merle Hay Road
Johnston, IA 50131
515-528-8178

DRAWING ISSUE SCHEDULE

Date	Description
01/18/2023	Permit Set

Project Status: FOR CONSTRUCTION

GTG A Job # 231005

GTG C Job # N/A

Project: Cloud Contents Site Plan

TITLESHEET

TS

VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK, NOTIFY ARCHITECT OF ANY DISCREPANCIES AS SOON AS THEY ARE FOUND.

A

B

C

D

E

PROPERTY DESCRIPTION:

LEGAL DESCRIPTION: LOTS 2, 3, & 4 PERLN PLACE

PROPERTY ADDRESS: 2101 HULL AVE, DES MOINES, IA 50317

RECORD PROPERTY OWNER / APPLICANT: WESTCOO HULL, LLC 6209 HICKLEY ST NW ANOKA, MN 55303-9116

PLANNING INFORMATION: DTG ARCHITECTS 6505 MERLE HAY ROAD JOHNSTON, IA 50131 P 515.214.6207

CONTACT: TYLER VINCENT TVINCENT@DTGCCOMPANIES.COM

ZONING INFORMATION: EXISTING SITE: I1 - GENERAL INDUSTRIAL DISTRICT (WEST SIDE) N1A - RESIDENTIAL DISTRICT (64-ST SIDE)

PROPOSED SITE: I1 - GENERAL INDUSTRIAL DISTRICT (FULL SITE)

EXISTING ZONING WITHIN 200' OF SITE: F - FLOOD PLAIN AND FLOODWAYS DISTRICT P1 - PUBLIC, CIVIC, AND INSTITUTIONAL DISTRICT I1 - GENERAL INDUSTRIAL DISTRICT N1A - RESIDENTIAL DISTRICT

EXISTING LANDUSE: I1 - GENERAL INDUSTRIAL DISTRICT WAREHOUSE / DISTRIBUTION OF AUTOMOTIVE PARTS

PROPOSED USE OF SITE: I1 - GENERAL INDUSTRIAL DISTRICT

ZONING: CH, 134-2.6.3C STORAGE BUILDING TYPE: CH, 135-2.9 WORKSHOP/WAREHOUSE

PROPERTY SETBACK AND STANDARDS: MULTIPLE PRINCIPAL BUILDINGS, MINIMUM FRONT SETBACK, PRIMARY FRONTAGE SETBACK, NON-PRIMARY FRONTAGE SETBACK, REAR SETBACK, MAXIMUM INFERVIOUS AREA, ADDITIONAL SEMI-INFERVIOUS AREA, MAXIMUM OVERALL HEIGHT, MAXIMUM STOREYS, MAXIMUM HEIGHT, MINIMUM HEIGHT PER STOREY, GROUND MAXIMUM HEIGHT PER STOREY, ALL OTHER STOREYS MINIMUM, ALL OTHER STOREYS MAX.

Table with 3 columns: REQUIREMENT, ACTUAL, and values for setbacks and heights.

BUILDING AREA: EXISTING BUILDING 18,947 SF

EXISTING AND PROPOSED LIGHTING: EXISTING LIGHTING 5, PROPOSED LIGHTING 0, SITE TOTAL 5

LANDSCAPE REQUIREMENTS: LANDSCAPE REQUIREMENTS SHALL ADHERE TO 135-7 & 135-8

135-7.4B 15% OF LOT = TREE CANOPY COVERAGE = 46,580 SF = 8,984 SF = 7 SHADE/OVERSTORY TREES TOTAL = 10,521 SF

NEW SHADE / OVERSTORY 1,000 SF, ORNAMENTAL UNDERSTORY 700 SF, EVERGREEN / CONFEROUS 300 SF

EXISTING TREE SIZE, TREE SIZE, MIN SPACING, STREET TREE, SHADE / OVERSTORY, ORNAMENTAL / UNDERSTORY

Table with 4 columns: REQ'D STREET TREES, REQ'D BUFFER PLANTINGS, EXISTING, PROPOSED, TOTAL

* POWER LINES ARE IN THE RIGHT OF WAY DIRECTLY ADJACENT TO THE SITE, NO TREES ARE PROPOSED.

PLANTING SCHEDULE IS LOCATED ON A5101

PARKING REQUIREMENTS: INTERIOR PARKING AREA 12,865 SF, TREE COVERAGE MINIMUM REQUIREMENT 30%

SHADING REQUIRED: 3,869 SF, SHADING PROVIDED: 3,658 SF

TREE IDENTIFICATION AND MITIGATION:

EXISTING TREES TWELVE INCHES IN CALIPER OR GREATER? EXISTING TREES TWELVE INCHES IN CALIPER OR GREATER TO BE REMOVED? 7

IMPERVIOUS SURFACE AREA: EXISTING (PREVIOUS ZONING) TOTAL SITE AREA 46,580 SF, IMPERVIOUS AREA 34,880 SF, PERVIOUS AREA 11,680 SF

PROPOSED (NEW ZONING) TOTAL SITE AREA 46,580 SF, IMPERVIOUS AREA 34,880 SF, PERVIOUS AREA 11,680 SF

CONCRETE OF SITE IS EXISTING CONDITIONS, NO INCREASE TO IMPERVIOUS AREA.

PERMITS AND APPLICATIONS: 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SIDEWALK AND DRIVEWAY APPROVAL PERMIT FROM THE AHA.

2. CONTRACTOR IS RESPONSIBLE FOR GRADING PERMIT APPLICATION AND APPLICABLE FEES FROM THE AHA.

3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING SIGN PERMIT FOR ANY EXTERIOR MONUMENT, DIRECTORY OR BUILDING-MOUNTED SIGNS FROM THE AHA.

AHA NOTES: 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND SUPPLEMENTAL SPECIFICATIONS, CURRENT AT THE COMMENCEMENT OF CONSTRUCTION.

2. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION / CONSTRUCTION.

3. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.

4. ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED FROM STREET LEVEL VIEW.

5. TRANSFORMERS, JUNCTION BOXES, AIR CONDITIONERS OVER 3 FEET IN HEIGHT, OR OTHER SUCH ITEMS MAY NOT BE LOCATED IN THE REQUIRED SETBACK AREAS.

6. LIGHTING MUST BE LOW GLARE CUL-OUT TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.

7. THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.

8. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.

OFF STREET PARKING: REQUIRED: STORAGE, DISTRIBUTION 1 PER 10,000 SF, OFFICE 1 PER 400 SF

CALCULATION: STORAGE, DISTRIBUTION 17,642 SF / 10,000 SF = 1.8 = 2 STALLS, OFFICE 4,666 SF / 400 SF = 11.6 = 12 STALLS, TOTAL 14 STALLS

PROVIDED: 24 STALLS, 1 ADA STALL (VAN)

BICYCLE PARKING: STORAGE & DISTRIBUTION: NA, 1 PER 50,000 SF, OFFICE: 4,666 SF / 50,000 SF = 0.1 + 2 (1 EACH SIDE OF STAND)

CALCULATION: OFFICE: 4,666 SF / 50,000 SF = 0.1 + 2 (1 EACH SIDE OF STAND)

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH AND IN COMPLIANCE WITH ALL REQUIREMENTS, ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE URBAN DESIGN AND SPECIFICATIONS (SUDAS) AND SUPPLEMENTAL SPECIFICATIONS, CURRENT AT THE COMMENCEMENT OF CONSTRUCTION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS - US DEPARTMENT OF TRANSPORTATION, APPROPRIATE PEDESTRIAN CONTROL DEVICES SHALL ALSO BE IMPLEMENTED.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES PER DRAWINGS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL MEET OR EXCEED MINIMUM STANDARDS AS REQUIRED BY NPDES. MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONTINUE UNTIL ACCEPTANCE AND CLOSURE OF THE WORK IS COMPLETE.

5. ALL DEBRIS FILLED ON THE PUBLIC RIGHT-OF-WAY OR ADJOINING PROPERTY SHALL BE REMOVED BY CONTRACTOR IN A TIMELY FASHION. NO STORAGE OF MATERIALS SHALL BE ALLOWED IN PUBLIC RIGHT-OF-WAY.

6. NO CONSTRUCTION TRAILERS OR TEMPORARY PROJECT SIGNS SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE OWNER.

7. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES AND PROTECT ALL UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BEAR THE COST OF ALL PRIVATE LOCATES ON PRIVATE PROPERTY. THE CONTRACTOR SHALL NOTIFY OWNER AND TOWNA ONE CALL ONE (1) WEEK PRIOR TO COMMENCING EXCAVATION, GRADING OR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON DAMAGE TO ANY UTILITY LINE OR APPURTENANCE OR THE INTERRUPTION OF THEIR SERVICE. DAMAGE TO UTILITIES AND STRUCTURES (CURBS, PAVEMENT, ETC.) SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

8. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIAL FROM THE SITE. ON-SITE DISPOSAL OF TREES, BRUSH OR OTHER DEBRIS SHALL NOT BE ALLOWED.

9. ALL WORK SHALL BE DONE IN COMPLIANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL NECESSARY SAFETY REGULATIONS.

10. THE MEANS AND METHODS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.

11. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION BY THE OWNER.

12. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

13. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.

14. RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING CONSTRUCTION.

15. ALL DIMENSIONS ARE TO OUTSIDE OF BUILDING WALL AND TO PROPERTY LINE UNLESS OTHERWISE NOTED.

16. ALL STRUCTURES AND APPURTENANCES SHALL BE ADJUSTED TO GRADE AS NECESSARY. SITE SHALL BE GRADED TO AVOID SITUATION OF THESE APPURTENANCES WITHIN DRAINAGE COURSE OR LOW SPOT.

17. ALL UTILITY AND PAVING WORK IN ROW SHALL BE COMPLETED IN ONE 48 HOUR PERIOD.

18. SITE CLEAN UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.

19. ALL OPEN EXCAVATIONS SHALL BE PROTECTED.

20. ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THE WORK.

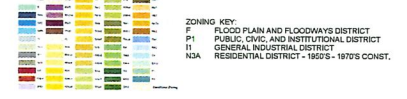
21. WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGES THROUGH CARELESSNESS OR ANY OTHER CAUSE FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY THE ARCHITECT AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE CONTRACT, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.

22. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR WORK TO BE PERFORMED FOR THE PROJECT AND IS RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS SET FORTH WITHIN THE PERMITS. ALL WORK SHALL COMPLY WITH CURRENT STATE AND LOCAL CODES. INSPECTION SCHEDULING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

23. CONTRACTOR SHALL APPLY FOR A GRADING PERMIT AND PROVIDE EROSION CONTROL MEASURES DURING CONSTRUCTION.

24. ALL SIDEWALKS & WALKWAYS SHALL HAVE A CROSS SLOPE NOT GREATER THAN 2%. CONTRACTOR TO CHECK SLOPE PRIOR TO CONCRETE INSTALLATION AND CORRECT ANY AREAS AS NECESSARY.

VICINITY AND ADJACENT ZONING MAP:



IOWA ONE CALL:

IOWA ONE CALL POSITIVE RESPONSE SYSTEM (www.iowacall.com) with color code for marking underground utility lines (RED, YELLOW, ORANGE, BLUE, GREEN, PINK, WHITE) and response times.

BEFORE YOU DIG IN IOWA CALL TOLL FREE 1-800-292-6969 and IOWA ONE CALL logo.



Client: Cloud Contents Site Plan 2101 Hull Ave Des Moines IA, 50317

Project: Cloud Contents Site Plan 2101 Hull Ave Des Moines IA, 50317

Architect: GTG Architects, LLC 6505 Merle Hay Road Johnston, IA 50131 515-248-8178

Structural Engineer: GTG Architects, LLC 6505 Merle Hay Road Johnston, IA 50131 515-248-8178

GTG Creative Building Solutions That Work logo.

DRAWING ISSUE SCHEDULE

Table with 2 columns: Date, Description. Row 1: 01/18/2023, Permit Set.

Project Status: FOR CONSTRUCTION, GTG A Job # 231005, GTG C Job # N/A, Project: Cloud Contents Site Plan

SITE PLAN NOTES

AS000

PROPERTY TAX DEPT 3 B
RYDER TRUCK RENTAL INC
POB 25719, MIAMI FL 33102

EX BEG 24.86F N & 33.86F W OF BE COR THN W 47F
NE 49.7F S 16F TO POB-N 250.06F S 302.06F E OF C
& CW BY ROW LESS RD NE 1/4 SEC 25-76-24
11

METRO FIBERNET LLC
857 BOND ST
OVERLAND PARK, KS 66214

W 500F LT 27 OVD HBGHTS
11



Client
Cloud Contents Site Plan
2101 Hull Ave
Des Moines IA, 50317

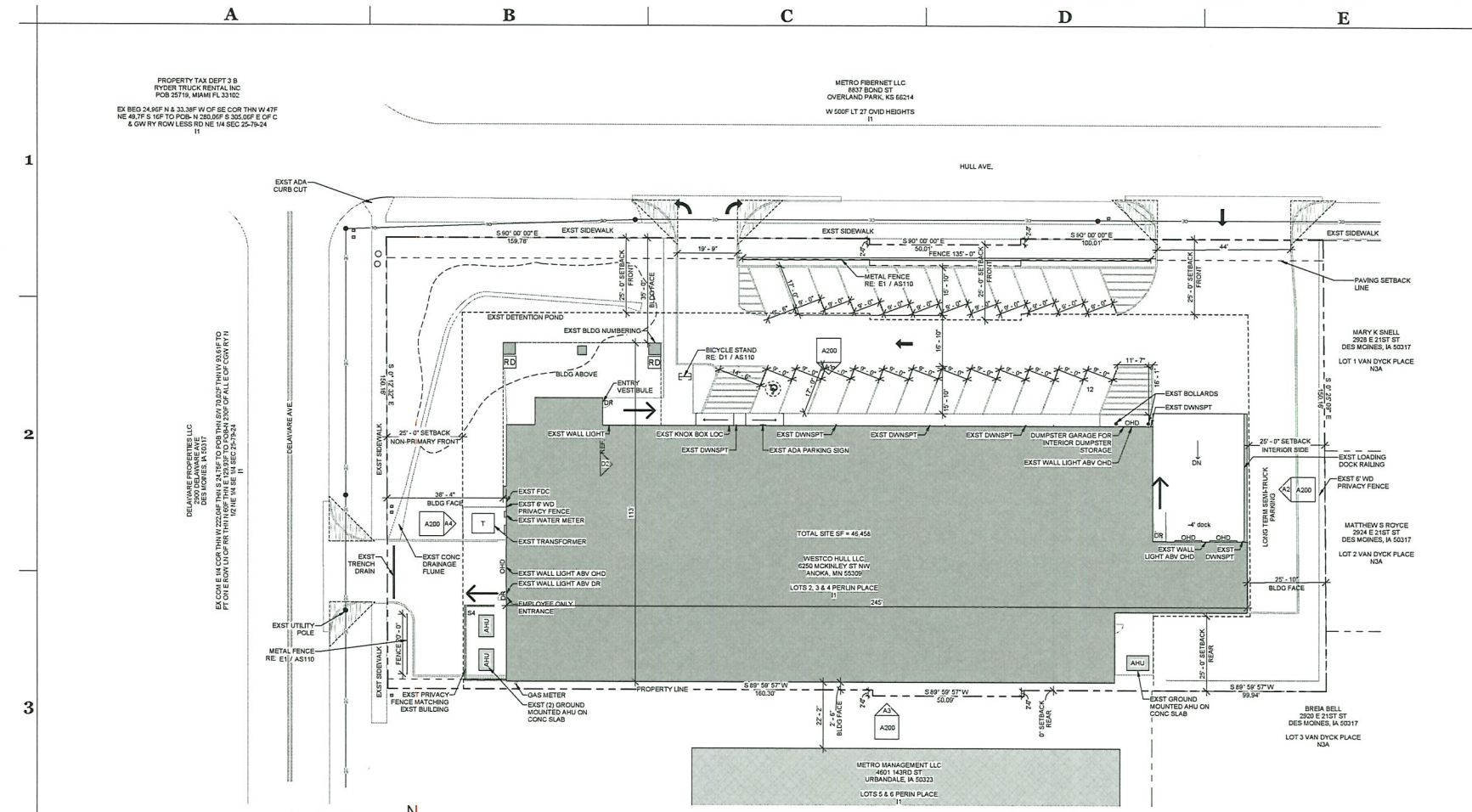
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Architect
GTG Architects, LLC
6505 Merle Hay Road
Johnston, IA 50131
515-548-8178



Structural Engineer
GTG Architects, LLC
6505 Merle Hay Road
Johnston, IA 50131
515-548-8178



1
2
3
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AS SITE PLAN - 2023
AS100 1/8" = 1'-0" REF'D FRG.

- SITE PLAN GENERAL NOTES:**
- SEE AS101 FOR PLANTING SCHEDULE.
 - OUTDOOR STORAGE IS NOT PROPOSED ON THIS SITE.
 - THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
 - MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
 - TRASH BIN/DUMPSTER TO BE STORED INSIDE AND MOVED OUTSIDE ON TRASH DAY.
 - LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
 - ALL ROOFTOP MECHANICAL EQUIPMENT (IF APPLICABLE) MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
 - RE. AS200 FOR PROPERTY SETBACKS.
 - LOADING AND UNLOADING MUST OCCUR ENTIRELY ON SITE.
 - ALL LOADING SPACES TO BE POSTED WITH "NO IDLING" SIGNS.

DRAWING ISSUE SCHEDULE

Date	Description
01/18/2023	Permit Set

Project Status: FOR CONSTRUCTION
GTG A Job # 231005
GTG C Job # N/A
Project:
Cloud Contents Site Plan

SITE PLAN

AS100

Client
Cloud Contents Site Plan
2101 Hull Ave
Des Moines IA, 50317

Project
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Architect
GTG Architects, LLC
6505 Merle Hay Road
Johnston, IA 50131
515-528-8178



Structural Engineer
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Johnston, IA 50131
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DRAWING ISSUE SCHEDULE

Date	Description
01/18/2023	Permit Set

Project Status: FOR CONSTRUCTION

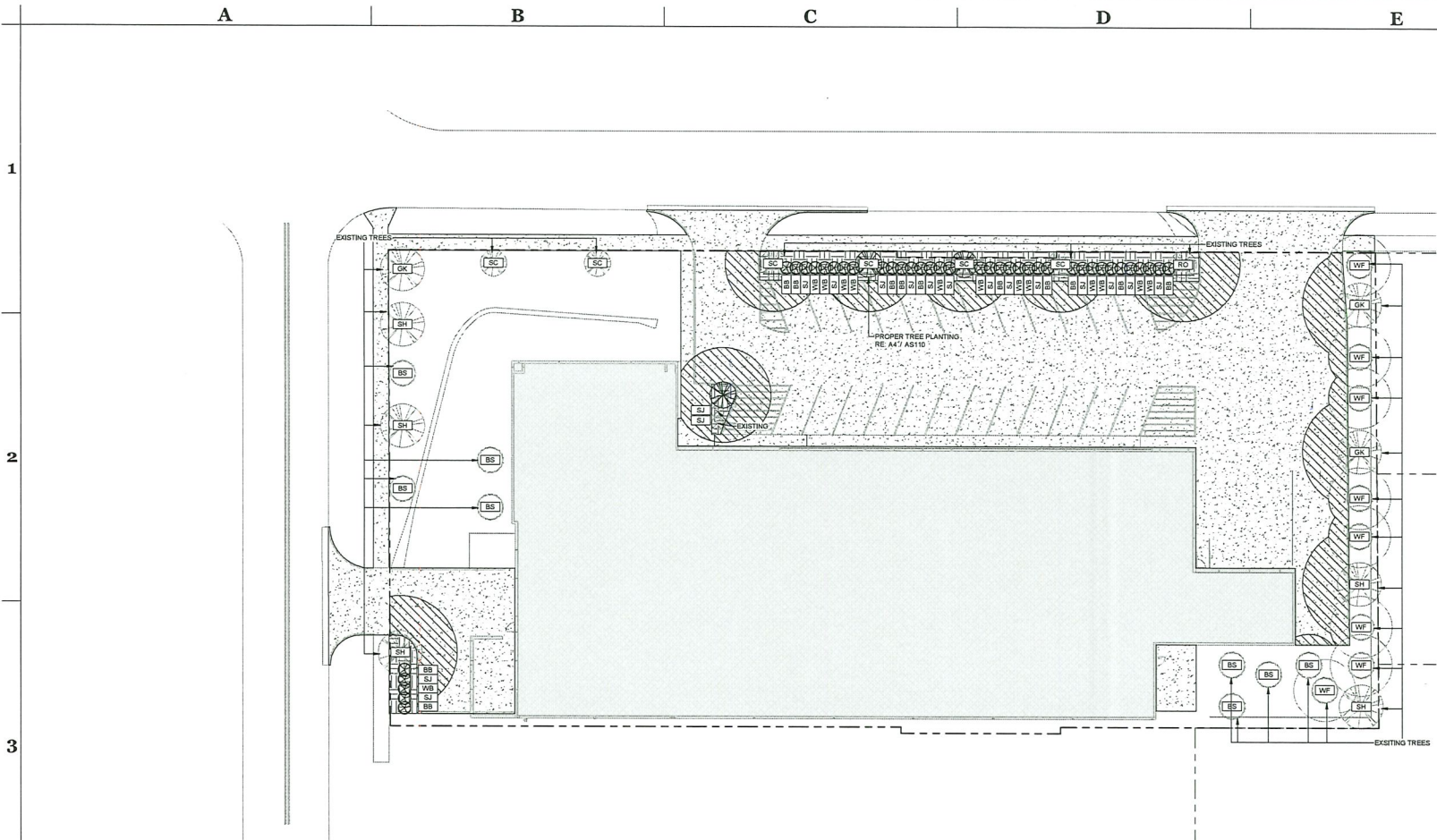
GTG A Job # 231005

GTG C Job # N/A

Project:
Cloud Contents Site Plan

LANDSCAPE PLAN

AS101



AS LANDSCAPE PLAN - 2023
AS101 1/16" = 1'-0" REFD FRM.

LANDSCAPE PLAN GENERAL NOTES:

- RE C4 / AS110 FOR MORE INFORMATION ON PROTECTING ALL EXISTING TREES ON THE SITE DURING CONSTRUCTION PROCESS.
- CONTACT THE MUNICIPAL FORESTRY DIVISION (515-283-4650) PRIOR TO PLANTING.
- RE A4 / AS110 FOR REMOVAL OF ALL WIRE, TWINE, AND BURLAP FROM ROOTBALL OF STREET TREES PRIOR TO PLANTING.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL PLANTING BEDS SHALL INCLUDE NON-LIVING PERMEABLE MATERIALS SUCH AS MULCH, AND NOT INCLUDING ROCK.
- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- TYPE, SIZE AND QUANTITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOICES AND OPEN SPACES. WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS. TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SEED OR SOO ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACK FILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOO IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 4".
- ALL EDGING SHALL BE 4" SPADIE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY. THE DRAWINGS SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DESIGNS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

		TREES			
		NAME	QUANTITY	ABBV	SCIENTIFIC NAME
DECIDUOUS / TEMPERATE		GINKGO	QUANTITY	GK	GINKGO BILCBA
		HONEYLOCUST	QUANTITY	SH	GLEDITSA TRICANTHAS INERMIS
		RED OAK	QUANTITY	RO	QUERCUS PRUBRA
		SPRING SNOW CRAB	QUANTITY	SC	MALLUS X 'SPRING SNOW'
		COLORADO BLUE SPRUCE	QUANTITY	BS	PICEA PUNGENS
EVERGREEN		WHITE FIR	QUANTITY	WF	ABIES CONCOLOR

	ROOF
	PAVEMENT
	HARDWOOD MULCH
	GRASS

		SHRUBS			
		NAME	QUANTITY	ABBV	SCIENTIFIC NAME
		DWARF BURNING BUSH	QUANTITY	BB	EUQUYMIOS ALATAS COMPACTUS
		SEA GREEN JUNIPER	QUANTITY	SJ	JUNIPERUS CHINENSIS 'SEA GREEN'
		WINTERGREEN BOXWOOD	QUANTITY	WB	BUXUS MICROPHYLLIS WINTERGREEN

A

B

C

D

E

1

2

3

4

1/27/2023 6:56:06 PM



Client
Cloud Contents Site Plan
2101 Hull Ave
Des Moines IA, 50317

Project
Cloud Contents Site Plan
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Architect
GTG Architects, LLC
6505 Merle Hay Road
Johnston, IA 50131
515-528-8178



Structural Engineer
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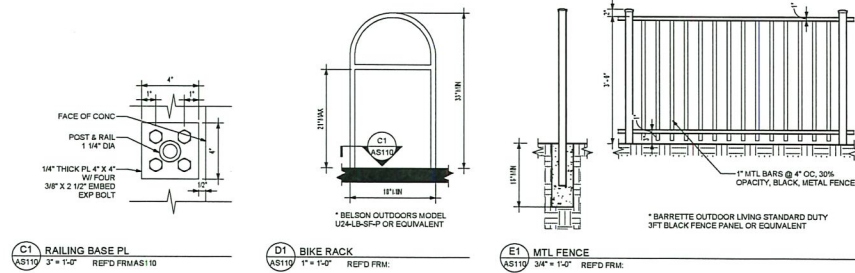


DIAGRAM: PROPER TREE PLANTING

- Step 1— Remove sod entirely from site. Dig hole 2X's wider than root ball.
- Step 2— Peel back tarp/burlap/legs and remove sufficient soil to expose root flare.
- Step 3— Measure from root flare to bottom of root ball.
- Step 4— Dig hole only to required depth to allow root flare to show at final grade.
- Step 5— Remove lower 1/3 of wire cage.
- Step 6— Set tree in planting hole. Support with some soil, then remove entire balance of wire cage and top 1/3 of burlap.
- Step 7— Backfill 2/3 of loose soil. Use water to settle soil. DO NOT tamp or step on soil.
- Step 8— Backfill balance and water a second time.
- Step 9— Excess soil may be used to create a berm/hauser outside of root ball.
- Step 10— add 2-4" of wood mulch and do final watering.

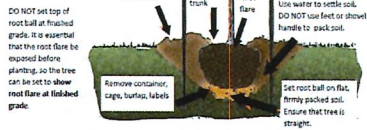
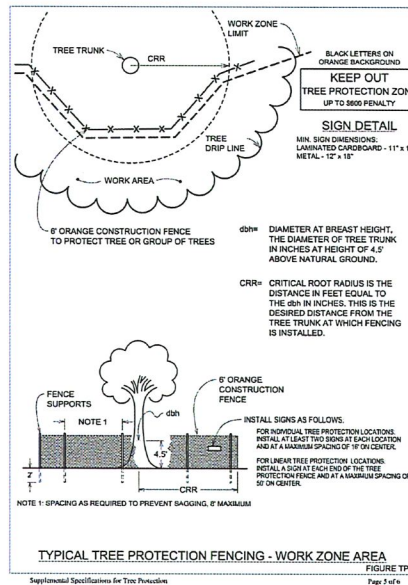
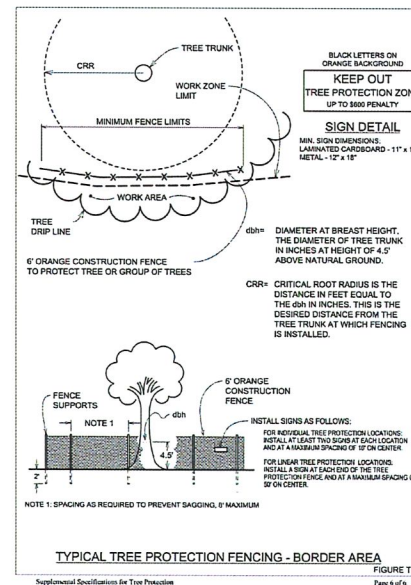


Image Courtesy of International Society of Arboriculture

A4 PROPER TREE PLANTING
AS119 1 1/2" x 1'-0" REFD FRM



C4 TREE PROTECTION DIAGRAMS
AS119 1 1/2" x 1'-0" REFD FRM



DRAWING ISSUE SCHEDULE

Date	Description
01/18/2023	Permit Set

Project Status: FOR CONSTRUCTION

GTG A Job # 231005

GTG C Job # N/A

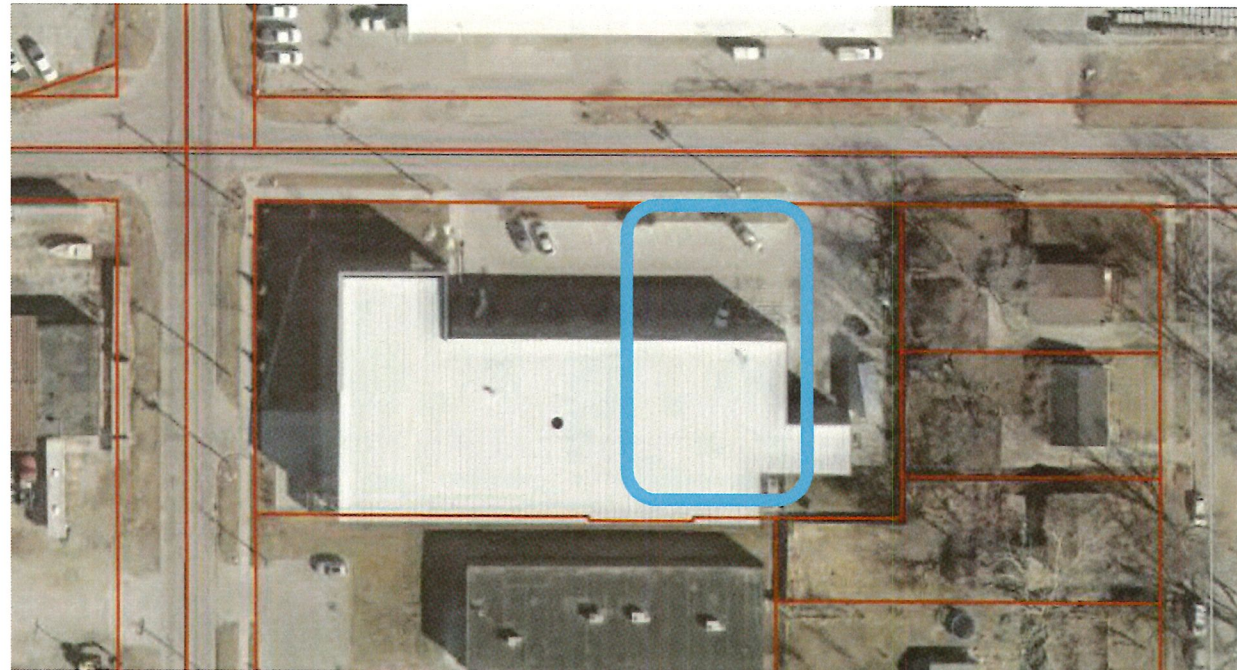
Project:

Cloud Contents Site Plan

DETAILS

AS110

- Dec. 16, 2019: new Zoning Map adopted
- Following PlanDSM Land Use Map: “Low Density Residential” area zoned “N3a” Neighborhood District
- Western parcel zoned “I1” Industrial
- Recently constructed, existing building allowed as legal non-conforming use on “N3a” portion of combined parcel





Creative Building Solutions That Work

February 21, 2023

6505 Merle Hay Rd, Suite A
Johnston, IA 50131
Phone: 515-528-8178
E-mail: tvincen@gtgcompanies.com
GTG job #: 231005

Rezoning Proposal Meeting Summary

2101 Hull Ave
Des Moines IA, 50317

Meeting Date: Thursday February 16th 2023
5:30-7:00pm
Location: 2101 Hull Ave Des Moines, IA 50317

We received the neighborhood list of properties within 250 feet from city staff on Monday February 13th 2023, the list of properties included are as follows:

Name	StreetAddress	CityStateZip
WENDY BENNETT	2929 E 21ST ST	DES MOINES IA 50317-4501
DOROTHY RHOADES	2906 E 21ST ST	DES MOINES IA 50317-3502
BRANDI MILLIKAN	2909 E 21ST ST	DES MOINES IA 50317-3501
BOYSEN PROPERTIES LLC	5887 NW 3RD CT	DES MOINES IA 50313-1351
CITY OF DES MOINES	400 ROBERT D RAY DR	DES MOINES IA 50309-1813
MICHELE ALTEHOFEN	2115 MORTON AVE	DES MOINES IA 50317-3539
METRO FIBERNET LLC	8837 BOND ST	OVERLAND PARK KS 66214-1707
BOUNTHOM XAYSANA	2914 E 21ST ST	DES MOINES IA 50317-3502
KELLY PHIPPS	805 N STATE ST	PLEASANTVILLE IA 50225-9788
MARY SNELL	2928 E 21ST ST	DES MOINES IA 50317-3502
GERALD OVERMAN	2029 BOYD ST	DES MOINES IA 50317-3507
RYOERTRUCK RENTAL INC	3000 DELAWARE AVE	MIAMI FL 33102-5719
DIARLYE FORKHOVEN	2921 E 21ST ST	DES MOINES IA 50317-3501
BREIA BELL	2920 E 21ST ST	DES MOINES IA 50317-3502
MATTHEW RENVE	2924 E 21ST ST	DES MOINES IA 50317-3502
ILES & MCKINNEY INC	3123 DELAWARE AVE	DES MOINES IA 50316-0177
METRO MANAGEMENT LLC	4601 143RD ST	URBANDALE IA 50323-2487
AMANDA KENT	2905 E 21ST ST	DES MOINES IA 50317-3501
Jeff Wite*	2501 Morton Ave	Des Moines IA 50317

We mailed our letter out Monday afternoon, the residents in attendance received the letters Wednesday night. Attached at the end of this document is the sign-in sheet for the meeting with the residents in attendance.

With respect to the proposed use of the facility, neighbors wondered how proposed use would impact: air quality & water quality. We will share these concerns with the owner and respond when we know more.

The residents view this sites zoning (I1) is not the correct zoning for the needs of the neighborhood. Residents would like to see more Mixed-Use (X) District nodes in their area of the city allowing more businesses to move in and create a walkable neighborhood with shops and services fitting their needs.

Following the meeting, we will be reaching out to the owner of the property to get information on the cleaning/restoration process. We will reach out to city staff to see if there is additional zoning categories that will work for the owners use of the property and still gives the neighborhood the zoning flexibility they are looking for.

Thank you,

GTG Architects, LLC

Tyler Vincent
Intern Architect



Creative Building Solutions That Work

6505 Merle Hay Rd, Suite A
Johnston, LA 50131
Phone: 515-528-8178
GTG job #: 231005

Neighborhood Meeting
Zoning Amendment
2101 Hull Ave

NAME ADDRESS PHONE #

Tyler Vincent	6505 Merle Hay Road	515-528-8178
Dave & Suzy Forester	2924 E. 22st	515-775-8393
Cherie Martie	2904 E 22nd St	515-490-2748
Eric Traasman	2106 Morton ave	515-360-7331
Jeremy Vertz	2203 Morton ave	515-480-4424
Kashmyre Vertz	2203 Morton ave	515-480-3989
Jacob Haus	2112 Morton Ave	515 975 5367
Brandi Haus	2112 Morton Ave	515 865-9691
Crystal Langford	2118 Morton Ave	515-238-8073
Dave Langford	2118 Morton Ave	515-238-0708
Nichole Altenhofen	2925 E 21st	515 210-9019
Steve Grasso	GTG Arch	515-868-8101
Wendy Bennett	2929 E 21	515 971-8697
J. Thomsen	2929 E 21	

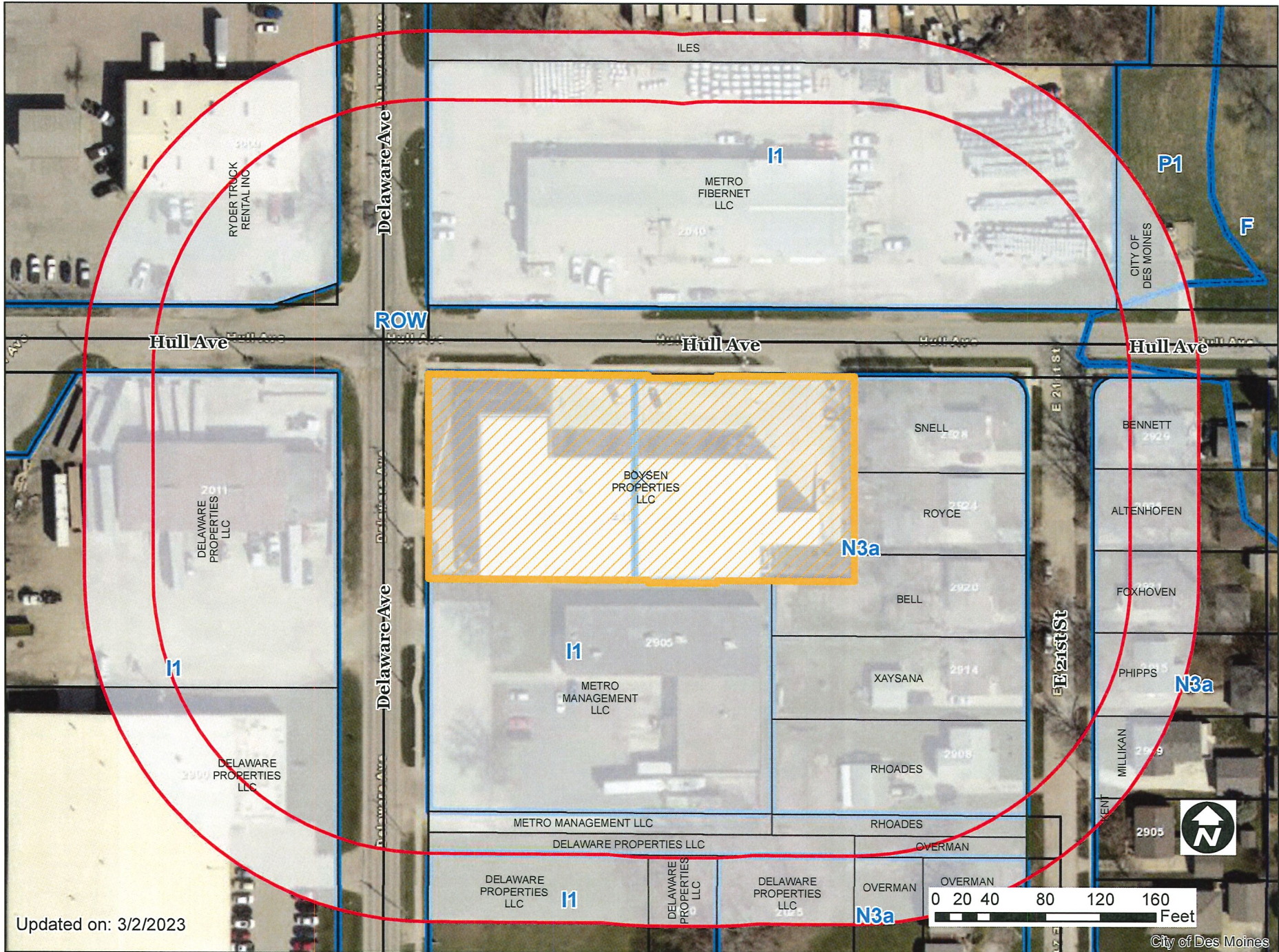
NAME

ADDRESS

PHONE #

Dakyle Fopden 2921 E 21st S15619-031

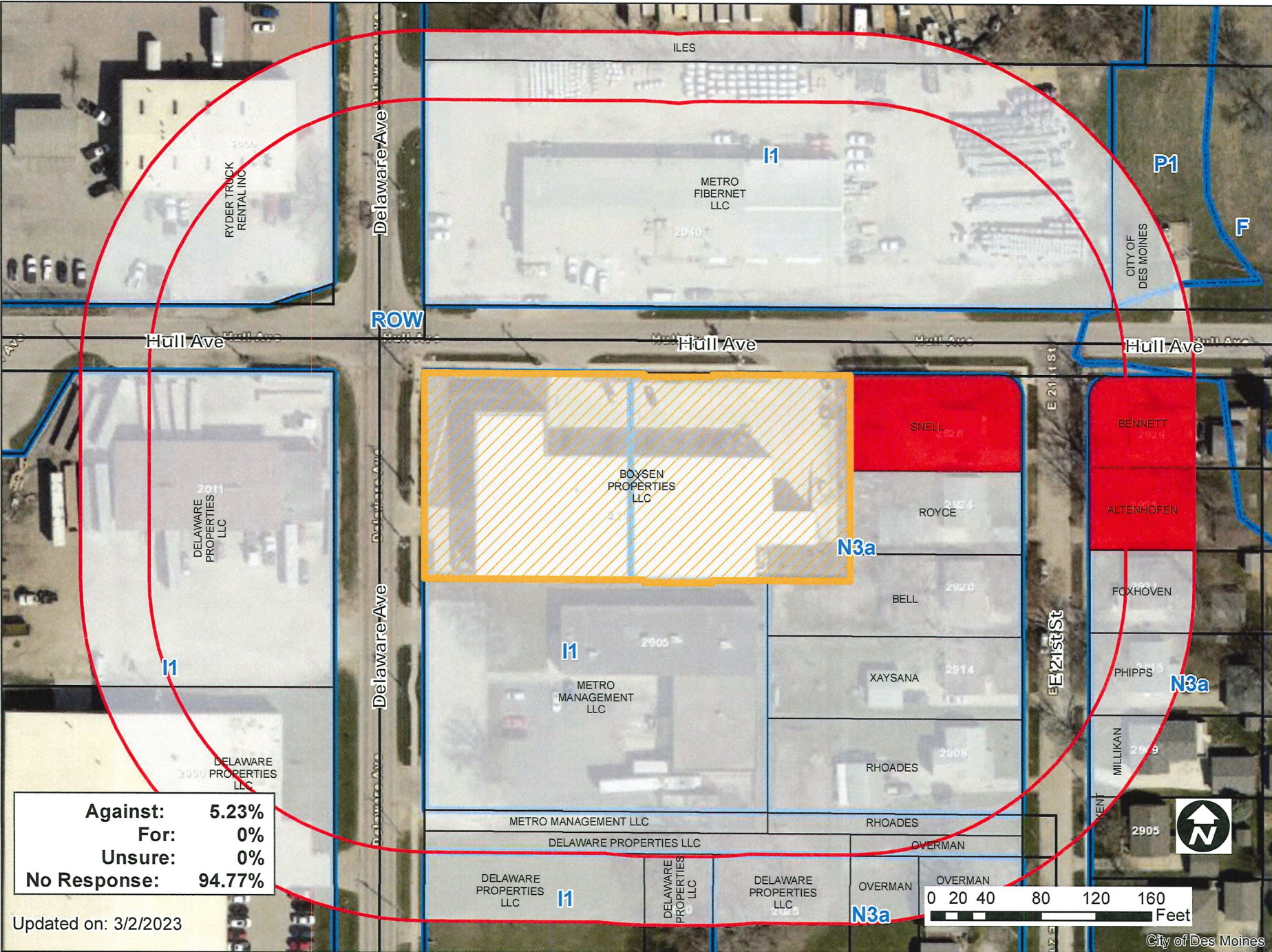
Lined area for data entry.



Updated on: 3/2/2023

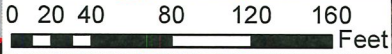
City of Des Moines

1 inch = 93 feet



Against:	5.23%
For:	0%
Unsure:	0%
No Response:	94.77%

Updated on: 3/2/2023



City of Des Moines

1 inch = 93 feet

Item: ZONG-2023-000012

Date: _____

Please mark one of the following:

- I support the request
- I am undecided
- I oppose the request

Staff Use Only
RECEIVED
 COMMUNITY DEVELOPMENT
FEB 27 2023

Titleholder Signature: MARY K Sowell

Name/Business: _____

Impacted Address: 2928 E. 21ST Dm. IA 50317

Comments: I've been here over 60 years + do not want to move, I like my neighbors

Item: ZONG-2023-000012

Date: 2/23/23

Please mark one of the following:

- I support the request
- I am undecided
- I oppose the request

Staff Use Only
RECEIVED
 COMMUNITY DEVELOPMENT
FEB 27 2023

Titleholder Signature: Jeff Witte President

Name/Business: Fairwood Park Neighborhood Assoc.

Impacted Address: _____

Comments: FPNA supports the residents in the area and they are opposed. JEFF WITTE President

Item: ZONG-2023-000012

Date: 2-23-23

Please mark one of the following:

I support the request

I am undecided

I oppose the request

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

FEB 28 2023

Titleholder Signature: Michele Altenhofen

Name/Business: _____

Impacted Address: 2925 E 21st St

Comments: I do not want this zoning to change to I-1 you have Family Neighborhood Starts right behind that building, this will effect my Property Waule & Possible Health.

Item: ZONG-2023-000012

Date: _____

Please mark one of the following:

I support the request

I am undecided

I oppose the request

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

MAR 01 2023

Titleholder Signature: Wendy Bennett

Name/Business: Wendy Bennett

Impacted Address: 2929 E 21st St

Comments: _____

Dostart, Katherine E.

From: Chakraborty, Sreyoshi
Sent: Tuesday, February 21, 2023 7:11 PM
To: Ludwig, Michael G.
Cc: Drost, Bert A.; Dostart, Katherine E.
Subject: FW: Re-zoning request from Clouds Content
Attachments: 20230220_160630.jpg

Follow Up Flag: Flag for follow up
Flag Status: Flagged

FYI, Wanted to share this. I have also spoken to Cherie a couple of times and heard her concerns

From: Michele Altenhofen <altenhofen.michele@gmail.com>
Sent: Tuesday, February 21, 2023 6:29 PM
To: Chakraborty, Sreyoshi <SChakraborty@dmgov.org>
Subject: Re-zoning request from Clouds Content

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sreyoshi

Hello I am a resident that lives on E 21st off of Hull Ave.

I am greatly concerned about the new business that bought 2101 Hull Ave location. Last week I received a letter regarding a meeting that they are requesting to have are area re-zoned from (I1 & N3A) to I1 commercial. Which I am NOT for at all. In this meeting we were told that this was a restoration company smoke and fire some blood, that was a false statement I researched what they do and what types of things they do, chemical spills and clean up bio hazardous material lots of cleaning with highly toxin chemicals, my concerns are what types of air emissions will be let out, ground pollution from water waste, this could be a health hazard to my neighborhood and to the children that attend Garten school!

We were told at this meeting that they couldnt start any work until this matter was resolved with the zoning board on March 2nd, yesterday they started digging with a back hoe tore up the cement on the side they stated is zoned as N3A into the grass making away for water lines or sewer drainage lines. The property wasn't flag by utility companies so did they even make a one call before digging? Can you tell me they have a storm water drainage tube, does that run into the city sewer drainage or dumped into the storm water retention pond? This type of company could cost everyone's property to devalue.

I have neighbors that have serious health issue.

I have pictures from yesterday that I will attached! as of 5pm tonight I see they have everything they were doing covered up now.

I was tolded that you're are contact person from Cherie Mortid.

Sincerely
Michele





Dostart, Katherine E.

From: Chakraborty, Sreyoshi
Sent: Thursday, March 2, 2023 8:59 AM
To: Dostart, Katherine E.; Van Essen, Jason M.; Drost, Bert A.
Cc: Ludwig, Michael G.
Subject: FW: Letter
Attachments: 2201 Hull Property email.docx; Hull 2201 2.docx; signed letter 2101 Hull.docx

Follow Up Flag: Follow up
Flag Status: Completed

FYI, it seems like very little notice was provided to the residents leading up to the neighborhood meeting.

From: Jeff Witte <jwpresfairmont@gmail.com>
Sent: Thursday, March 2, 2023 8:52 AM
To: Chakraborty, Sreyoshi <SChakraborty@dmgov.org>
Subject: Re: Letter

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Sreyoshi, I am attaching a letter from Fairmont Park, an email sent to Tyler Vincent, and the letter that was sent from GTG who owns the property at 2101 Hull Avenue. Thank you

Jeff Witte
FPNA Pres.
515-208-9532

On Wed, Mar 1, 2023 at 3:30 PM Chakraborty, Sreyoshi <SChakraborty@dmgov.org> wrote:

Jeff,

Good to talk to you! Feel free to email your letter to me so staff can include it in the presentation to the Commission.

Thank you,

SREYOSHI CHAKRABORTY, AICP (She/Her) | CITY OF DES MOINES

Senior City Planner | Development Services

Office: 515-283-4749 Cell: 515-975-6820



The City of Des Moines has launched new development review, permitting, and inspection software that includes a Customer Self-Service (CSS) online portal to make it easier to submit and track requests with the Planning & Urban Design Division. This portal provides customers with a secure and convenient way to submit applications and planning materials without printing, mailing, or faxing a form. Customers are also able to track requests to more easily determine where they are in the process. A link to this Customer Self Service site is available on the [Planning & Urban Design Division webpage](#).

2201 Hull Property



Jeff Witte <jwpresfairmont@gmail.com>

Thu, Feb 16,
1:55 PM

to tvincent

Tyler, due to one day notice, and scheduling conflicts for the meeting to discuss changing the zoning for the property at 2201 Hull I will not be able to attend. Thank you

Jeff Witte
FPNA Pres.
515-208-9532



ReplyForward



February 13, 2023

6505 Merle Hay Rd, Suite A
Johnston, IA 50131
Phone: 515-528-8178
E-mail: tylervincent@gtgcompanies.com
GTG job #: 231005

Rezoning Proposal

2101 Hull Ave
Des Moines IA, 50317

2101 Hull Avenue has recently been purchased by Cloud Contents and is currently zoned as (I1) & (N3A).

I1 is an Industrial district intended for general industrial uses, warehousing, and transportation terminals. N3A is a Neighborhood District, intended to preserve the scale and character of residential neighborhoods developed predominantly during the 1950's.

Cloud Contents would like to amend the current City of Des Moines zoning for the property (I1 & N3A) to I1.

We are planning to hold a neighborhood meeting at 2101 Hull Ave on Thursday February 16th from 5:30pm to 7pm for any questions you may have. If you are unable to meet with us on this date, please direct all comments and questions to the email address and number provided above.

Thank you,

GTG Architects, LLC

Tyler Vincent
Intern Architect

Neighborhood Fairmont Park Association

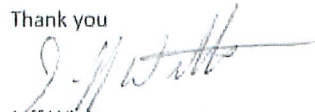
From The Desk of Jeff Witte FPNA President

March 2, 2023

Ms. Seryoshi Chakraborty:

Ms. Chakraborty, I am writing this letter to inform you that Fairmont Park Neighborhood Association is opposed to the rezoning of the property at 2101 Hull Avenue in Des Moines. I received a letter from GTG the company that bought the building at 2101 Hull stating a meeting to be held for the residence of Fairmont Park. The letter was written on February 13th I received that letter on the 15th of February for a meeting on the 16th 24 hours notice. Due to scheduling conflicts I was unable to attend. As a courtesy I called the person to contact (Tyler Vincent) from GTG and explained my situation, and asked what would be in the building Tyler explained they would be Architects. After the meeting was held on the 16th I was informed by residences that attended the meeting it would be a restoration company I believe we should slow this process down to make sure they are set up to handle hazardous materials. And not put the neighborhood, or Garton School which is just 4 blocks away in harms way. Fairmont Park stands with the residents that are opposed to the rezoning.

Thank you



Jeff Witte

FPNA Pres.

515-208-9532



Roll Call Number

Agenda Item Number

55A

Date March 27, 2023

An Ordinance entitled, "AN ORDINANCE to amend the Official Zoning Map of the City of Des Moines, Iowa, set forth in Section 134-1.10 of the Municipal Code of the City of Des Moines, Iowa, 2000, by rezoning and changing the district classification of certain property located in the vicinity of 2101 Hull Avenue from "I1" Industrial District and "N3a" Neighborhood District to Limited "I1" Industrial District classification",

presented.

Moved by _____ that this ordinance be considered and given first vote for passage. Second by _____.

FORM APPROVED:

(First of three required readings)

/s/ Chas M. Cahill
Chas M. Cahill

(ZONG-2023-000012) (COMP-2023-000010)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
SHEUMAKER				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED			APPROVED	

CERTIFICATE

I, LAURA BAUMGARTNER, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

Mayor

City Clerk

Prepared by: Chas M. Cahill, Assistant City Attorney, 400 Robert D. Ray Drive, Des Moines, IA 50309
 Phone: 515-283-4533
 Return Address: City Clerk - City Hall, 400 Robert D. Ray Drive, Des Moines, IA 50309
 Title of Document: City of Des Moines, Ordinance No. _____
 Grantor/Grantee: City of Des Moines, Iowa
 Legal Description: See page 1, below.

ORDINANCE NO. _____

AN ORDINANCE to amend the Official Zoning Map of the City of Des Moines, Iowa, set forth in Section 134-1.10 of the Municipal Code of the City of Des Moines, Iowa, 2000, by rezoning and changing the district classification of certain property located in the vicinity of 2101 Hull Avenue from "I1" Industrial District and "N3a" Neighborhood District to Limited "I1" Industrial District classification.

Be It Ordained by the City Council of the City of Des Moines, Iowa:

Section 1. That the Official Zoning Map of the City of Des Moines, Iowa, set forth in Section 134-1.10 of the Municipal Code of the City of Des Moines, Iowa, 2000, be and the same is hereby amended by rezoning and changing the district classification of certain property located vicinity of 2101 Hull Avenue from "I1" Industrial District and "N3a" Neighborhood District to Limited "I1" Industrial District classification:

LOTS 2, 3, AND 4 PERIN PLACE, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

Section 2. That this ordinance and the zoning granted by the terms hereof are subject to the following imposed additional conditions which have been agreed to and accepted by execution

of an Acceptance of Rezoning Ordinance by all owners of said property and are binding upon the owners and their successors, heirs, and assigns as follows:

1. Subject to the prohibition of outdoor storage as a principal or accessory use.

Section 3. This ordinance shall be in full force and effect from and after its passage and publication as provided by law.

Section 4. That the City Clerk is hereby authorized and directed to cause certified copies of the Acceptance of Rezoning Ordinance, this ordinance, vicinity map and proof of publication of this ordinance to be properly filed in the office of the County Recorder of the county in which the subject property is located.

FORM APPROVED:

/s/ Chas M. Cahill
Chas M. Cahill
Assistant City Attorney