



**Roll Call Number**

.....

**Agenda Item Number**

26

**Date** November 21, 2022

**RESOLUTION SETTING PUBLIC HEARING REGARDING REQUEST FROM ALEJANDRO J. MUNOZ DE LA CRUZ, FOR PROPERTY LOCATED AT 1117 26<sup>TH</sup> STREET, TO REZONE THE PROPERTY FROM “N5” NEIGHBORHOOD DISTRICT TO “N5-2” NEIGHBORHOOD DISTRICT, TO ALLOW REUSE OF THE EXISTING STRUCTURE FOR A DUPLEX USE**

**WHEREAS**, the City Plan and Zoning Commission has advised that at a public hearing held on November 3, 2022, its members voted 10-0 in support of a motion to recommend **APPROVAL** of a request from Alejandro J. Munoz De La Cruz, for property located at 1117 26<sup>th</sup> Street, to rezone the property from “N5” Neighborhood District to “N5-2” Neighborhood District, to allow reuse of the existing structure for a duplex use and determined the requested rezoning is in conformance with the PlanDSM: Creating Our Tomorrow Comprehensive Plan; and

**WHEREAS**, the Property is legally described as follows:

**Lot 32 in DRAKE UNIVERSITY SECOND ADDITION, an Official Plat now included in and forming part of the City of Des Moines, Polk County, Iowa**

**NOW, THEREFORE, BE IT RESOLVED**, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed rezoning is to be considered, and at which time the City Council will hear both those who oppose and those who favor the proposals, shall be held at City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa, at 5:00 p.m. on December 12, 2012, at which time the City Council will hear both those who oppose and those who favor the proposals.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.



**Roll Call Number**

.....

**Agenda Item Number**

26

**Date** November 21, 2022

MOVED BY \_\_\_\_\_ TO ADOPT. SECOND BY \_\_\_\_\_.

FORM APPROVED:

/s/ Gary D. Goudelock Jr.  
Assistant City Attorney

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
SHEUMAKER				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED			APPROVED	

**CERTIFICATE**

I, LAURA BAUMGARTNER, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

\_\_\_\_\_ Mayor

\_\_\_\_\_ City Clerk

November 15, 2022

Communication from the City Plan and Zoning Commission advising that at their November 3, 2022 meeting, the following action was taken regarding a request from Alejandro J Munoz De La Cruz (owner) to rezone property located at 1117 26<sup>th</sup> Street from “N5” Neighborhood District to “N5-2” Neighborhood District, to allow reuse of the existing structure for a duplex use.

**COMMISSION RECOMMENDATION:**

After public hearing, the members voted 10-0 as follows

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dan Drendel	X			
Leah Rudolphi	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Chris Draper				X
Todd Garner				X
Johnny Alcivar				X
Justyn Lewis				X
Carolyn Jenison	X			
William Page	X			
Andrew Lorentzen				X
Emily Webb	X			
Katie Gillette	X			

**ARPROVAL** of Part A) The requested rezoning be found in conformance with PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Approval of the rezoning of the subject property from “N5” Neighborhood District to “N5-2” Neighborhood District.

Written Responses

1 in Favor

1 in opposition



## STAFF RECOMMENDATION TO THE P&Z COMMISSION

Part A) Staff recommends that the requested rezoning be found in conformance with PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Staff recommends approval of the rezoning of the subject property from “N5” Neighborhood District to “N5-2” Neighborhood District.

## STAFF REPORT TO THE PLANNING COMMISSION

### I. GENERAL INFORMATION

- 1. Purpose of Request:** The subject dwelling previously operated as a six-plex. However, it was vacant for more than one (1) year, which resulted in loss of approval to operate as more than a single household use. The applicant is proposing to rezone the subject property to allow reuse of the existing structure as a duplex.
- 2. Size of Site:** 0.14 acres (6,148 square feet).
- 3. Existing Zoning (site):** “N5” Neighborhood District.
- 4. Existing Land Use (site):** The subject property consists of a three-story dwelling with off-street parking at the rear of the property accessed via the alley.
- 5. Adjacent Land Use and Zoning:**
  - North** – “N5”; Uses are low density or low-medium density residential.
  - South** – “N5”; Uses are low density or low-medium density residential.
  - East** – “NX2”; Uses are multiple-household apartment building and parking lot.
  - West** – “N5”; Uses are low density or low-medium density residential.
- 6. General Neighborhood/Area Land Uses:** The subject property is located on 26<sup>th</sup> Street, in the block between Cottage Grove Avenue and University Avenue. It is located in the Drake Neighborhood, which consists of a mix of one-household residential, two-household residential, multiple-household residential, office, commercial, religious, educational, and institutional uses.
- 7. Applicable Recognized Neighborhood(s):** The subject property is located in the Drake Neighborhood Association. All neighborhood associations were notified of the public hearing by mailing of the Preliminary Agenda on October 14, 2022 and by mailing of the Final Agenda on October 28, 2022. Additionally, separate notifications of the hearing for this specific item were mailed on October 14, 2022 (20 days prior to the public hearing) and October 24, 2022 (10 days prior to the public hearing) to the Drake Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood



Development Division on the date of the mailing. The Drake Neighborhood mailings were sent to Lori Calhoun, 2808 Cottage Grove Avenue, Des Moines, IA 50311.

The applicant will provide a summary of the neighborhood meeting at the public hearing.

8. **Relevant Zoning History:** On June 13, 2022, the Neighborhood Inspector sent a Notice of Violation for this property regarding multiple violation(s) of the Municipal Code of the City of Des Moines, Iowa that needed remedial action. The notice also stated, "It has been determined from that inspection that the dwelling currently constitutes a danger to health and safety to the public and is a public nuisance".
9. **PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Low-Medium Density Residential.
10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject area owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

## II. ADDITIONAL APPLICABLE INFORMATION

1. **PlanDSM Creating Our Tomorrow:** The subject property has a future land use designation of "Low-Medium Density Residential". Plan DSM describes the designation as follows:

*Low-Medium Density Residential: Areas developed with a mix of single family, duplex and small multi-family units up to 12 units per net acre.*

Staff notes that the predominant character of the neighborhood is a mix of duplexes, house conversions, and apartment buildings on smaller-scaled parcels in a highly walkable area. Staff believes that the proposed duplex use would be consistent with the existing land use designation as it is included in the Low-Medium Density Residential definition.

The subject parcel is currently zoned "N5" District. The Zoning Ordinance describes this district as, "intended to preserve the scale and character of neighborhoods developed with a mix of bungalow and two-story houses, predominantly in the Victorian, Revival, and Arts and Crafts styles pursuant to House D building type in section 135-2.16 of this code."

The applicant is proposing to rezone the parcel to the "N5-2" District. For N district locations labeled with a "-2 extension, the maximum number of household units permitted per lot is two, pursuant to section 134-3.1.2 of this code". The proposed "N5-2" District is consistent with the Low-Medium Density Residential designation since it allows for duplex uses.

- 2. Planning and Design Ordinance:** Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code). Should the rezoning be approved, the applicant would be required to prepare a site plan and building elevations for any proposed additions or modifications and address any pending violations to bring the site to compliance.

## **SUMMARY OF DISCUSSION**

Emily Webb advised item #4 could be considered under the consent agenda if there is no interest in public comment. No one was present or requested to speak.

Dory Briles made a motion to move item #4 to consent. Motion carried 10-0

## **COMMISSION ACTION:**


Leah Rudolphi made a motion for:

Part A) The requested rezoning be found in conformance with PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Approval of the rezoning of the subject property from "N5" Neighborhood District to "N5-2" Neighborhood District.

Motion passed: 10-0

Respectfully submitted,



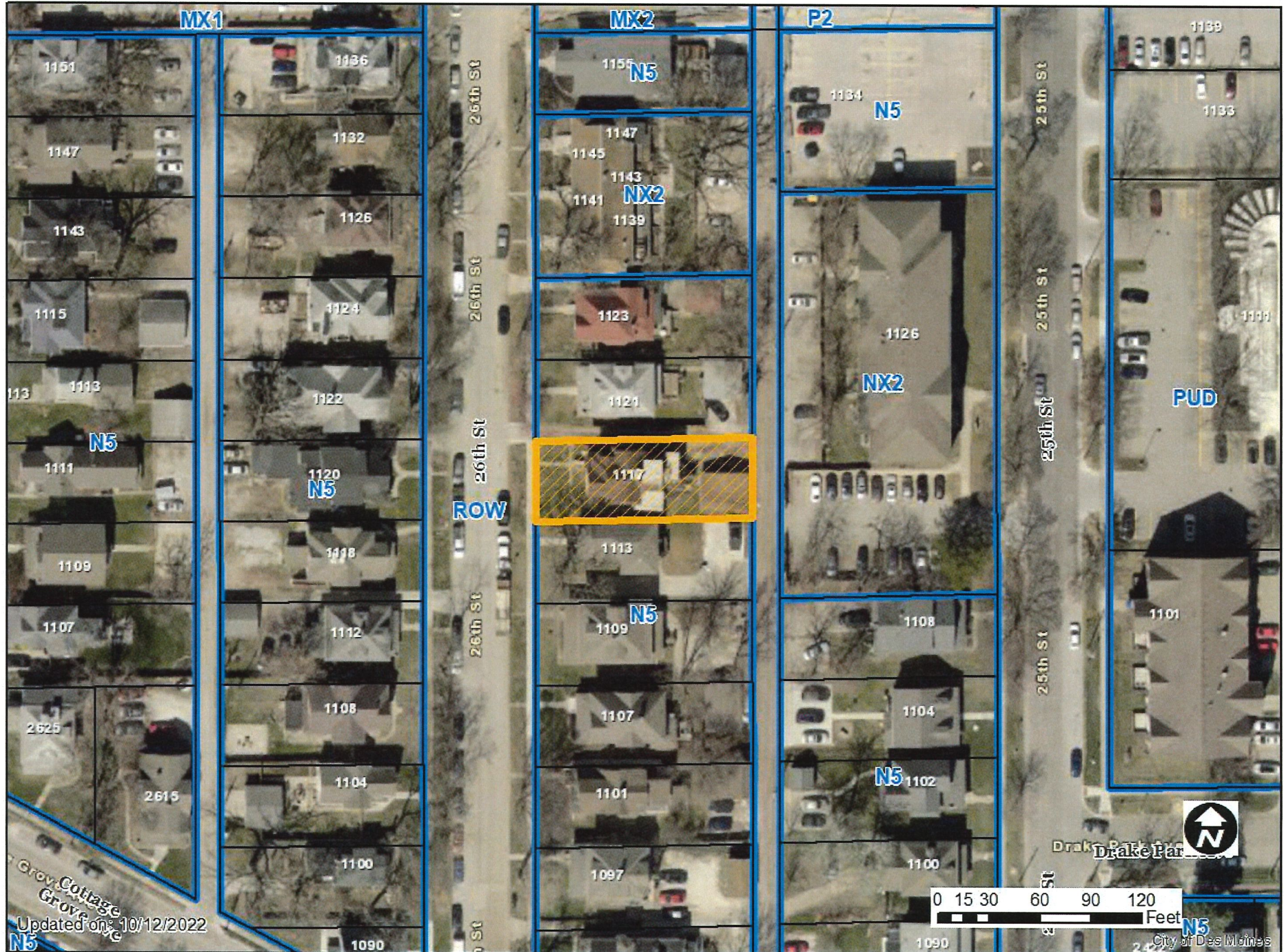
Jason Van Essen, AICP  
Planning & Urban Design Administrator

JMV:tjh



Alejandro J. Munoz De La Cruz, 1117 26th Street

ZONG-2022-000093



1 inch = 75 feet



26











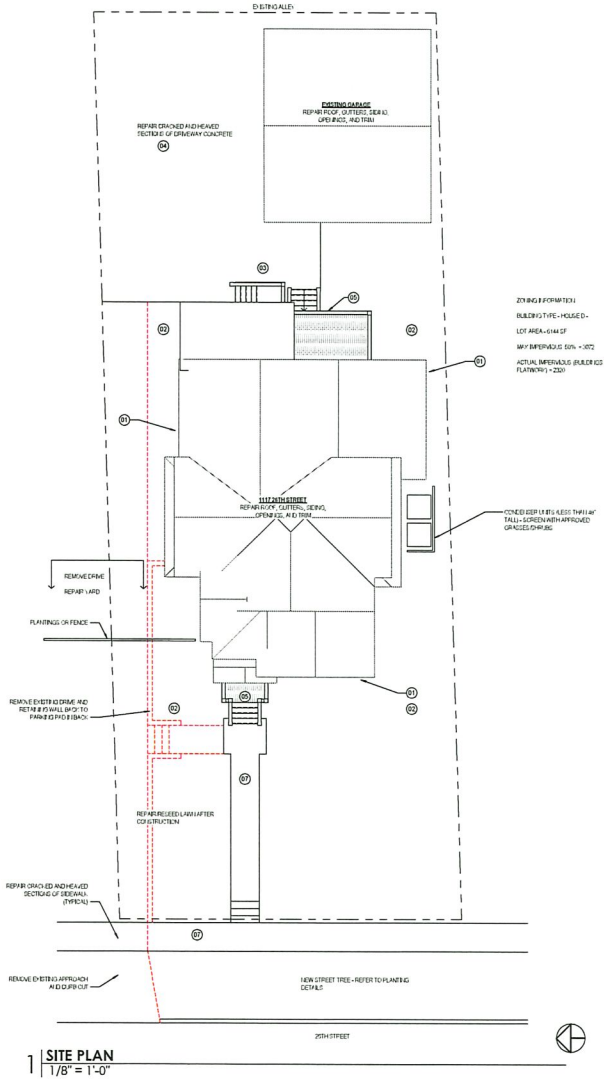






KEYNOTE - SITE

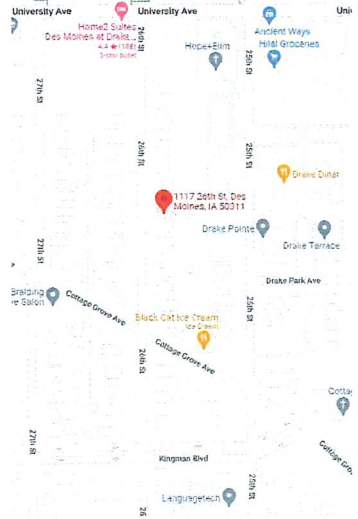
- 01 GRADE AND HOLD TO SLOPE WITH MINIMUM 1" PER 12" REQUIRED BY CODE.
- 02 FINISH EDGE OR RECEPTS - CONFORM TO MINIMUMS FOR SUBMITTAL. CONSULT LOCAL CODES FOR PROJECT RUN-UP.
- 03 FOR CONCRETE WORKING
- 04 NEW CONCRETE FINISH - APPROXIMATE TO NEW GARAGE OR PAVED DRIVE. SEE 11" SQUARE TRUCK CURB ABOVE DRIVE. REMOVE AT CURB TO EXPOSE DRIVE - REPAIR TO MATCH BLANK. IN EXISTING DRIVE TO REMAIN. PROTECT FROM DAMAGE TO CURB OR DRIVE. IF REPAIRING TO EXPOSE - REPLACE OR NEW-CAST CONCRETE AS REQUIRED. VERIFY.



# 1117 REHABILITATION

## 1117 26TH STREET DES MOINES, IA 50311

SITE LOCATION



SHEET INDEX

SHEET NAME	ISSUED	LAST REVISION
GENERAL		
0101	COVER SHEET	2022.02.13
0102	STAMPBOOK	2022.02.13
0201	SHEET SPECIFICATIONS	2022.02.13
ARCHITECTURAL		
A101	FLOOR PLAN	2022.02.13
A201	EXTERIOR ELEVATIONS	2022.02.13
A301	FIRST LEVEL ENLARGED PLAN	2022.02.13
A401	MECHANICAL	2022.02.13
A501	DETAILS	2022.02.13
A601	SCHEDULES	2022.02.13

ARCHITECT

SEQUEL ARCHITECTURE  
3134 COTTAGE GROVE AVENUE  
DES MOINES, IA 50311  
STEVE WILKE-SHAPIRO, AIA

GENERAL CONTRACTOR

OWNER

MECH / ELECT / PLUMBING

DESIGN-BUILD AND PERMITTED SEPARATELY AS REQUIRED

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the State of Iowa.

Steven Wilke-Shapiro, AIA  
Iowa License # 07231  
Sequel Architecture, PLLC

Signature \_\_\_\_\_ Date \_\_\_\_\_

Sheets or Pages covered by this seal





**KEYNOTE - SELECTIVE DEMO**

- D1 REMOVE EXISTING WALLS AND DOORS AS NOTED BY DASHED LINES. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO MAINTAIN EXISTING STRUCTURE (IF APPLICABLE).
- D2 REMOVE EXISTING FLOOR FINISH TO EXPOSE CONCRETE OR OTHER SUBSTRATE. REMOVE EXISTING FLOOR FINISH OR ALTER TO AS REQUIRED FOR FLOOR FINISH.
- D3 REMOVE EXISTING PARTITION WALLS AND DOORS (IF APPLICABLE).
- D4 REMOVE EXISTING PARTITION WALLS AND DOORS AS NOTED BY DASHED LINES. PROVIDE TEMPORARY ENCLOSURE AS REQUIRED TO MAINTAIN EXISTING STRUCTURE (IF APPLICABLE).
- D5 REMOVE EXISTING PARTITION WALLS, SUPPLY, AND RETURN LINES TO EXPOSE ALL UTILITIES.
- D6 PROTECT ORIGINAL WORKMANSHIP AND ARCHITECTURAL FEATURES THROUGHOUT DEMO.
- D7 REMOVE EXISTING STAIRS.
- D8 REMOVE EXISTING CASEWORK, CABINETS, FIXTURES, AND APPLIANCES THROUGHOUT DEMO.
- D9 REMOVE EXISTING PARTITION WALLS, STAIRS, DOORS, AND CONCRETE FLOORING.

**KEYNOTE - FLOOR PLANS**

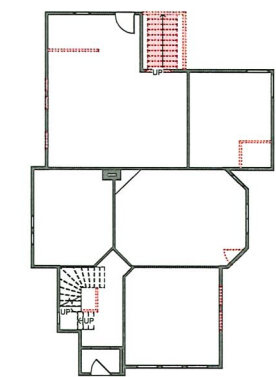
- F1 BUILT-IN MILLWORK - SEE ENLARGED FINISH ELEVATIONS FOR ACCEPTABLE FINISHES.
- F2 HIDE IN PLACE.
- F3 COORDINATE WITH ARCHITECT TO MATCH EXISTING HOUSE (IF APPLICABLE).
- F4 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F5 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F6 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F7 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F8 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F9 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F10 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F11 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F12 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F13 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F14 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F15 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F16 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F17 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F18 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F19 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F20 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.
- F21 1/2" x 4" x 8" SPAN STYLE WOOD COLUMN.

**GENERAL NOTES - PLAN**

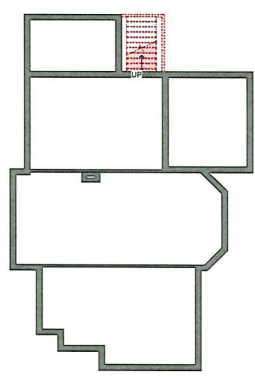
- A. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO MAINTAIN EXISTING STRUCTURE (IF APPLICABLE) THROUGHOUT DEMO. PROVIDE TEMPORARY ENCLOSURE AS REQUIRED TO MAINTAIN EXISTING STRUCTURE (IF APPLICABLE).
- B. VERIFY DIMENSIONS OF WORK UTILITIES AS NOTED ON FIELD OR AS NOTED ON GENERAL NOTES. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- C. DIMENSIONS AT PARTITION WALLS - VERIFY INTERIOR FINISH AND HOLD LINE OF PARTITION WALLS AS NOTED ON GENERAL NOTES. VERIFY DIMENSIONS AS NOTED ON GENERAL NOTES.
- D. DIMENSIONS AT ORIGINAL LOCATIONS - DIMENSIONS AT ORIGINAL LOCATIONS SHALL BE AS NOTED ON GENERAL NOTES. VERIFY DIMENSIONS AS NOTED ON GENERAL NOTES. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- E. DIMENSIONS AT ORIGINAL LOCATIONS - DIMENSIONS AT ORIGINAL LOCATIONS SHALL BE AS NOTED ON GENERAL NOTES. VERIFY DIMENSIONS AS NOTED ON GENERAL NOTES. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.

**GENERAL NOTES - SELECTIVE DEMO**

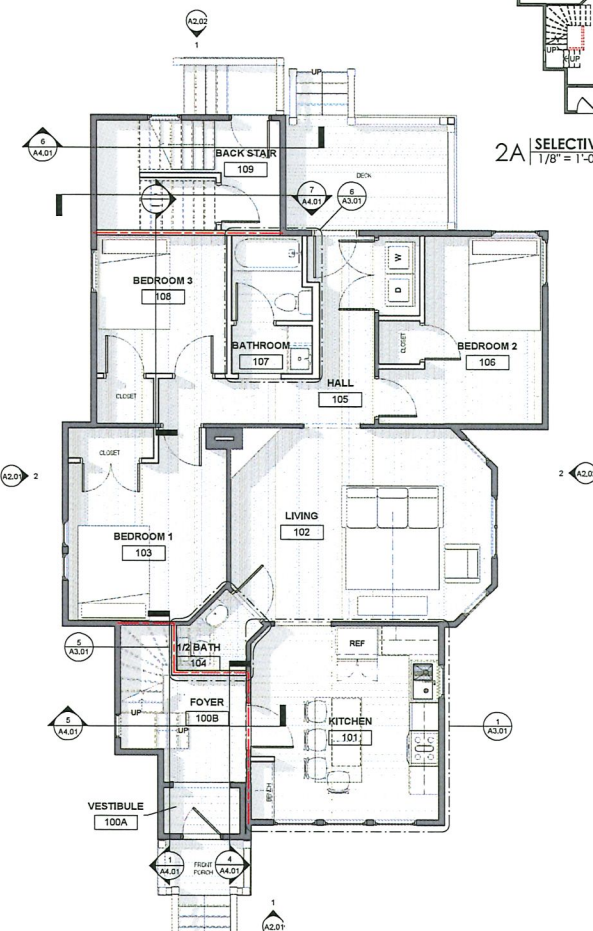
- A. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO MAINTAIN EXISTING STRUCTURE (IF APPLICABLE) THROUGHOUT DEMO. PROVIDE TEMPORARY ENCLOSURE AS REQUIRED TO MAINTAIN EXISTING STRUCTURE (IF APPLICABLE).
- B. VERIFY DIMENSIONS OF WORK UTILITIES AS NOTED ON FIELD OR AS NOTED ON GENERAL NOTES. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- C. DIMENSIONS AT PARTITION WALLS - VERIFY INTERIOR FINISH AND HOLD LINE OF PARTITION WALLS AS NOTED ON GENERAL NOTES. VERIFY DIMENSIONS AS NOTED ON GENERAL NOTES.
- D. DIMENSIONS AT ORIGINAL LOCATIONS - DIMENSIONS AT ORIGINAL LOCATIONS SHALL BE AS NOTED ON GENERAL NOTES. VERIFY DIMENSIONS AS NOTED ON GENERAL NOTES. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- E. DIMENSIONS AT ORIGINAL LOCATIONS - DIMENSIONS AT ORIGINAL LOCATIONS SHALL BE AS NOTED ON GENERAL NOTES. VERIFY DIMENSIONS AS NOTED ON GENERAL NOTES. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.



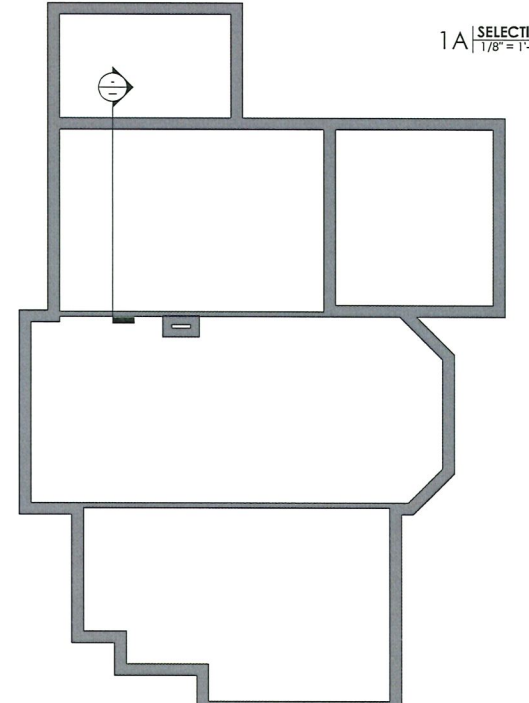
**2A | SELECTIVE DEMO - 1ST FLOOR**  
 1/8" = 1'-0"



**1A | SELECTIVE DEMO - BASEMENT**  
 1/8" = 1'-0"

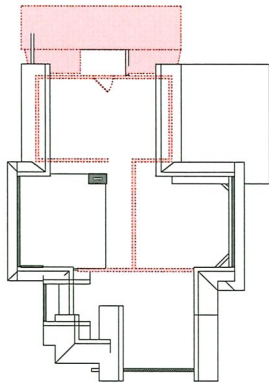


**2B | FLOOR PLAN - 1ST FLOOR**  
 1/4" = 1'-0"

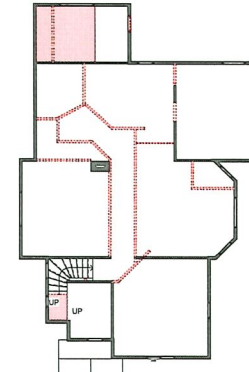


**1B | FLOOR PLAN - BASEMENT**  
 1/4" = 1'-0"

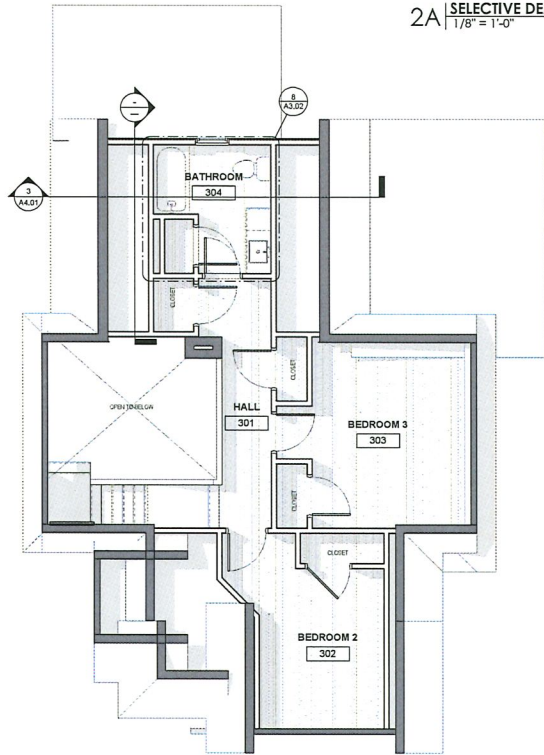




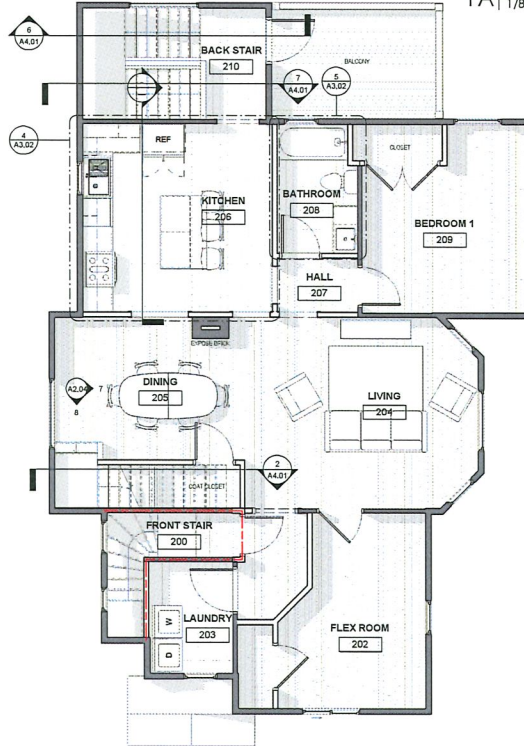
2A SELECTIVE DEMO - 3RD FLOOR  
1/8" = 1'-0"



1A SELECTIVE DEMO - 2ND FLOOR  
1/8" = 1'-0"



2B FLOOR PLAN - 3RD FLOOR  
1/4" = 1'-0"



1B FLOOR PLAN - 2ND FLOOR  
1/4" = 1'-0"

**KEYNOTE - SELECTIVE DEMO**

- 01 REMOVE EXISTING WALLS AND DOORS EXCEPT BY OTHER NOTES. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO MAINTAIN EXISTING STRUCTURE.
- 02 REMOVE EXISTING WALLS BACK TO FINISH LINE (G-FLOOR FINISH LINE).
- 03 REMOVE EXISTING FLOORING AND FLOORING AS REQUIRED TO FLOOR PLAN.
- 04 REMOVE ALL WALLS AND FLOORING AS REQUIRED TO FLOOR PLAN.
- 05 REMOVE ROOF FLOORING. PROVIDE TEMPORARY BRACING AS REQUIRED TO SUPPORT EXISTING STRUCTURE.
- 06 REMOVE EXISTING FLOORING, SUPPLY, AND RETURNING TO TO CORSE (IN FLOOR PLAN).
- 07 REMOVE EXISTING WOODWORK AND ARCHITECTURAL FEATURES.
- 08 REMOVE EXISTING FLOORING.
- 09 REMOVE EXISTING COUNTERS, ARCHITECTURAL, AND APPLIANCES THROUGHOUT.
- 10 REMOVE WOODWORK (EXCEPT HAND STAIR, RAILING, AND CONCRETE FLOORING).

**KEYNOTE - FLOOR PLANS**

- 01 REMOVE ALL WORK - SEE ELECTRICAL PLAN ELEVATIONS FOR ADDITIONAL INFORMATION.
- 02 REMOVE ALL WORK.
- 03 REMOVE ALL WORK - TRIM TO MATCH THROUGHOUT HOUSE (FINISH).
- 04 CONTINUE EXISTING WOODWORK.
- 05 REMOVE ALL WORK EXCEPT WOODWORK.
- 06 REMOVE ALL WORK EXCEPT WOODWORK.
- 07 REMOVE ALL WORK - REFER TO SECTION.
- 08 REMOVE ALL WORK EXCEPT WOODWORK. 2'-0" WIDE TRIM INCLUDING 1/2" FINISH FROM FINISH LINE TO TOP OF TRIM, OF EXISTING HEADLINE, RETURNING TO WALL FINISH.
- 09 REMOVE ALL WORK EXCEPT WOODWORK.
- 10 REMOVE ALL WORK EXCEPT WOODWORK.
- 11 REMOVE ALL WORK EXCEPT WOODWORK.
- 12 REMOVE ALL WORK EXCEPT WOODWORK.
- 13 REMOVE ALL WORK EXCEPT WOODWORK.
- 14 REMOVE ALL WORK EXCEPT WOODWORK.
- 15 REMOVE ALL WORK EXCEPT WOODWORK.
- 16 REMOVE ALL WORK EXCEPT WOODWORK.
- 17 REMOVE ALL WORK EXCEPT WOODWORK.
- 18 REMOVE ALL WORK EXCEPT WOODWORK.
- 19 REMOVE ALL WORK EXCEPT WOODWORK.
- 20 REMOVE ALL WORK EXCEPT WOODWORK.
- 21 CONTINUE EXISTING WALL, FLOOR, AND CEILING (CONCRETE) STAIR.

**GENERAL NOTES - PLAN**

- GENERAL**
- A. PROVIDE TEMPORARY SUPPORT AS REQUIRED AS REQUIRED AT ALL CONSTRUCTION LOCATIONS. PROVIDE TEMPORARY SUPPORT TO MAINTAIN EXISTING STRUCTURE AT ALL TIMES.
  - B. VERIFY DIMENSIONS OF WORK IN PLACE AS NOTED ON DRAWINGS. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DOCUMENTS BEFORE SUBSEQUENT WORK IS INITIATED. CORRECT WORK SHALL BE WITH ARCHITECT.
  - C. DIMENSIONS AT PARTITION WALLS: VERIFY REPAIRS AND NEW GENERAL PARTITION WALLS AS NOTED ON DRAWINGS. VERIFY DIMENSIONS AS NOTED OTHERWISE.
  - D. DIMENSIONS AT ORIGINAL LOCATIONS: DIMENSIONS AT ORIGINAL LOCATIONS SHALL BE AS NOTED ON DRAWINGS. VERIFY DIMENSIONS AS NOTED OTHERWISE. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DOCUMENTS BEFORE SUBSEQUENT WORK IS INITIATED. CORRECT WORK SHALL BE WITH ARCHITECT.
- FINISHING CONVENTIONS**
- E. VERIFY DIMENSIONS OF WORK IN PLACE AS NOTED ON DRAWINGS. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DOCUMENTS BEFORE SUBSEQUENT WORK IS INITIATED. CORRECT WORK SHALL BE WITH ARCHITECT.
- GENERAL NOTES**
- F. VERIFY DIMENSIONS OF WORK IN PLACE AS NOTED ON DRAWINGS. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DOCUMENTS BEFORE SUBSEQUENT WORK IS INITIATED. CORRECT WORK SHALL BE WITH ARCHITECT.

**GENERAL NOTES - SELECTIVE DEMO**

- GENERAL**
- A. VERIFY DIMENSIONS OF WORK IN PLACE AS NOTED ON DRAWINGS. CORRECT WORK OUT OF COMPLIANCE WITH THE DESIGN DOCUMENTS BEFORE SUBSEQUENT WORK IS INITIATED. CORRECT WORK SHALL BE WITH ARCHITECT.
- TEMPORARY SUPPORT**
- B. PROVIDE TEMPORARY SUPPORT TO MAINTAIN EXISTING STRUCTURE AT ALL TIMES.
- CONSTRUCTION**
- C. REMOVE EXISTING WALLS AND DOORS EXCEPT BY OTHER NOTES. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO MAINTAIN EXISTING STRUCTURE AT ALL TIMES.
  - D. VERIFY EXISTING CONDITIONS WITH FLOOR PLAN. DEMOLITION PRIOR TO SELECTIVE DEMOLITION.
- DANGEROUS MATERIALS**
- E. VERIFY THE PURPOSE, OR IDENTIFY THE LOCATION OF DANGEROUS MATERIALS. VERIFY THE LOCATION OF DANGEROUS MATERIALS. VERIFY THE LOCATION OF DANGEROUS MATERIALS. VERIFY THE LOCATION OF DANGEROUS MATERIALS.
- REPAIRS**
- F. REMOVE ALL EXISTING EQUIPMENT FROM ANY AREA PRIOR TO DEMOLITION. REMOVE ALL EXISTING EQUIPMENT FROM ANY AREA PRIOR TO DEMOLITION. REMOVE ALL EXISTING EQUIPMENT FROM ANY AREA PRIOR TO DEMOLITION.
- REPAIRS AND CONSTRUCTION**
- G. REMOVE ALL EXISTING EQUIPMENT FROM ANY AREA PRIOR TO DEMOLITION. REMOVE ALL EXISTING EQUIPMENT FROM ANY AREA PRIOR TO DEMOLITION. REMOVE ALL EXISTING EQUIPMENT FROM ANY AREA PRIOR TO DEMOLITION.

**SEQUEL ARCHITECTURE**  
3134 Cottage Grove, Des Moines, IA 50311  
info@sequelarchitecture.com  
515.710.3484



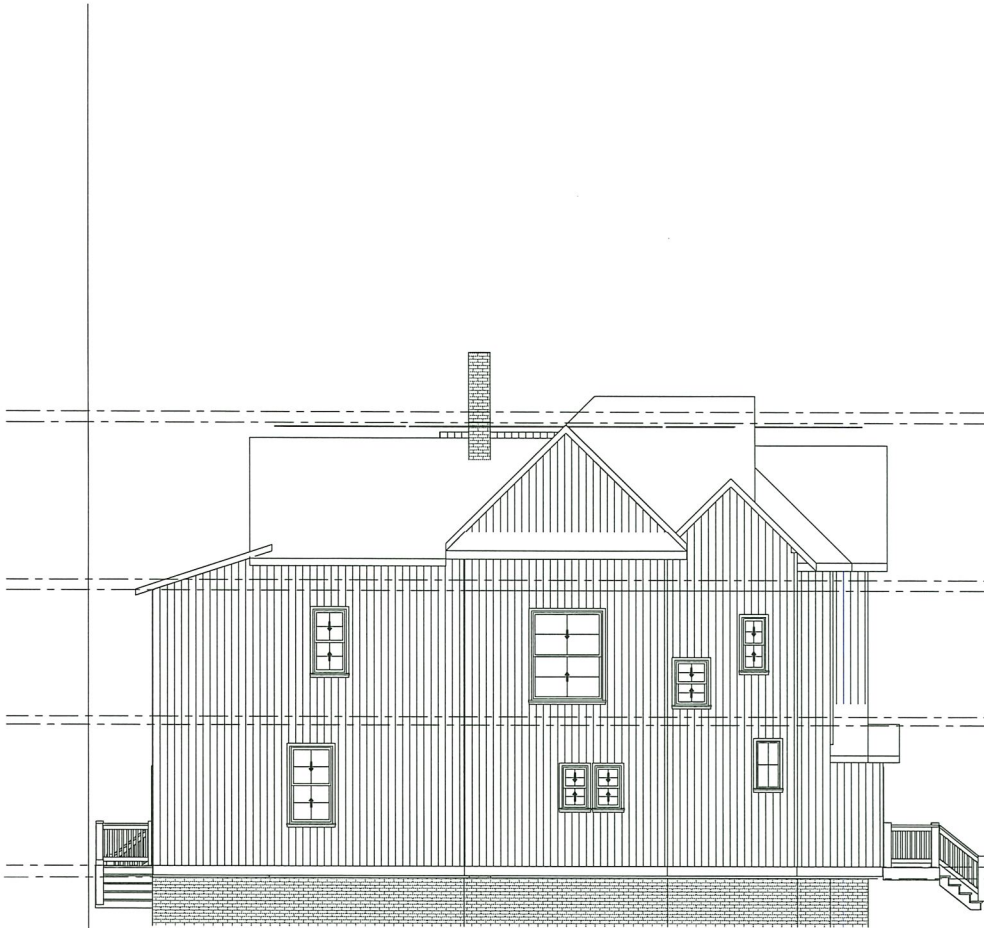
**1117 REHABILITATION**  
1117 28TH STREET  
DES MOINES, IA 50311

ISSA PROJECT# 2020.08.19  
EGS DATE 2020.08.19

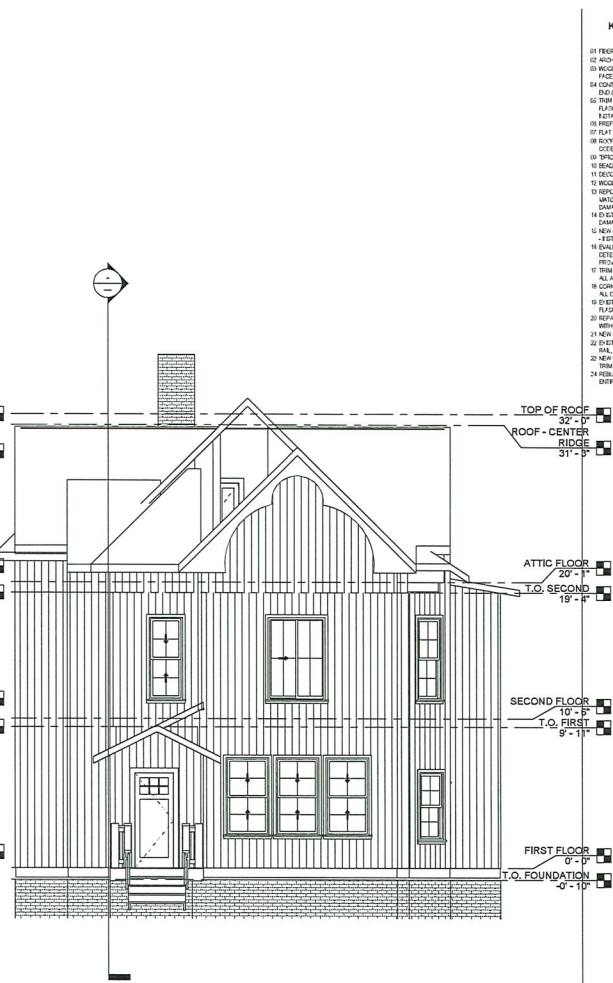
NO.	REVISIONS	DATE
01		

**FLOOR PLANS**  
**A1.02**

**RELEASED FOR PRE-APP APPLICATION - NOT FOR CONSTRUCTION**



2 | NORTH EXTERIOR ELEVATION  
1/4" = 1'-0"



1 | WEST EXTERIOR ELEVATION  
1/4" = 1'-0"

**KEYNOTE - EXTERIOR ELEVATIONS**

- 01 FREE CEILING LAP SIDING REVEAL
- 02 WINDOW/CEILING GRADE ASPHALT FLASHING
- 03 WINDOW FLASHING GRADE-LEVEL - PROVIDE ALL CEILING PAINT EXPOSED
- 04 FACED/STAIRS/TEMPERATE KEYNOTE
- 05 CONTIGUOUS PRESSURE-TREATED ALUMINUM/STEEL WITH DRAINAGE FLASH AT EACH END (NO JOINTS)
- 06 TRIM/OUT SIDING WITH FLAT STOCK COMPOSITE TRIM PROVIDE FLASHING AND FLASHING FOR SIDING AND SIDING MANUFACTURER INSTALLATION INSTRUCTIONS
- 07 TRIM/OUT SIDING WITH FLAT STOCK COMPOSITE TRIM PROVIDE FLASHING AND FLASHING FOR SIDING AND SIDING MANUFACTURER INSTALLATION INSTRUCTIONS
- 08 TRIM/OUT SIDING WITH FLAT STOCK COMPOSITE TRIM PROVIDE FLASHING AND FLASHING FOR SIDING AND SIDING MANUFACTURER INSTALLATION INSTRUCTIONS
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**GENERAL NOTES - EXTERIOR ELEVATION**

- GENERAL**
- A. EXTERIOR ELEVATION DRAWINGS ARE SHOWN REPRODUCED BY THE CONTRACTOR TO THE ORIGINAL DESIGNER'S INTENT AND SHALL BE USED TO CONSTRUCT EXTERIOR ELEVATION FEATURES. FIELD VERIFY EXISTING CONDITIONS.
  - B. REFER TO ALL EXTERIOR WALL SECTION DETAILS AND WALL TYPES FOR ADDITIONAL INFORMATION.
  - C. REFER TO MATERIAL LEGEND FOR EXTERIOR FINISH TYPES.
  - D. IN AREAS WITH EXTERIOR FINISHES, NEW FINISHES SHALL BE INSTALLED OVER EXISTING MATERIAL. NEW WORK SHALL ALSO BE TO COMPLY WITH THE EXISTING MATERIAL.
  - E. PROVIDE FLASHING AT MATERIAL TRIM JOINTS TO BE SLOPED FOR DRAINAGE FOR WATER TO ESCAPE FORWARD OF THE EXTERIOR FINISH.
  - F. PROVIDE SEALANTS IN ACCORDANCE WITH MANUFACTURER INSTALLATION INSTRUCTIONS. SEALANTS SHALL BE COLOR MATCHED TO THE ADJACENT MATERIAL OR FINISHABLE FOR FINISHED MATERIALS ONLY.

**SEQUEL ARCHITECTURE**  
3124 College Grove, Des Moines, IA 50311  
info@sequelarchitecture.com  
515.710.3484



**1117 REHABILITATION**  
1117 26TH STREET  
DES MOINES, IA 50311

ISSUE NO. 01  
ISSUE DATE: 2023.09.19

**REVISIONS**

NO.	DESCRIPTION	DATE

**EXTERIOR ELEVATIONS**

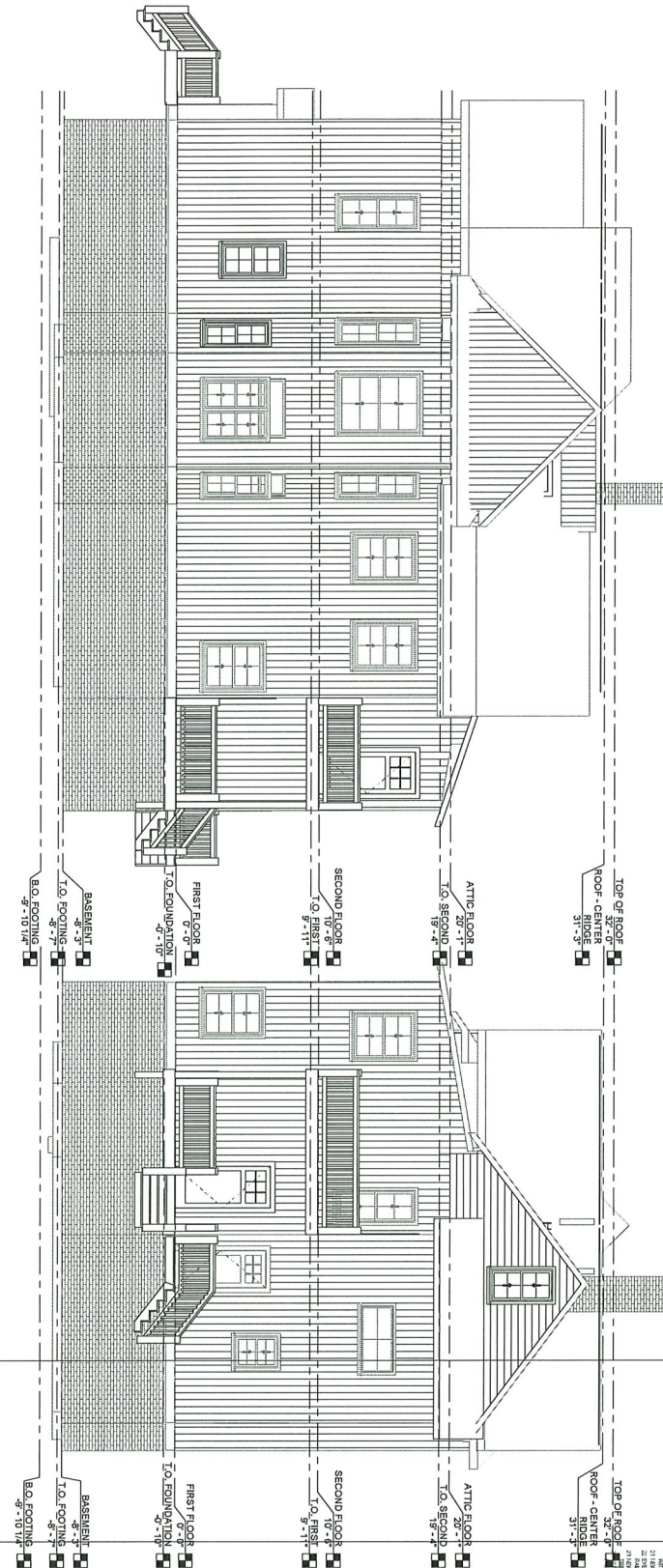
**A2.01**

RELEASED FOR PRE-APP APPLICATION - NOT FOR CONSTRUCTION



2 | Elevation 2 - d  
 1/4" = 1'-0"

1 | EAST EXTERIOR ELEVATION  
 1/4" = 1'-0"



**KEYNOTE - EXTERIOR ELEVATIONS**  
 01. REFER TO THE PLAN FOR THE LOCATION OF THIS KEYNOTE.  
 02. INDICATES THE LOCATION OF THE KEYNOTE ON THE EXTERIOR ELEVATION.  
 03. INDICATES THE LOCATION OF THE KEYNOTE ON THE EXTERIOR ELEVATION.  
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NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/13/13
2	ISSUED FOR PERMITS	08/13/13

1117 REHABILITATION  
 1117 26TH STREET  
 DES MOINES, IA 50311  
**RELEASED FOR PRE-APP APPLICATION - NOT FOR CONSTRUCTION**

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 3134 Cottage Grove, Des Moines, IA 50311  
 info@sequelarchitecture.com  
 515.710.3484

A2.02  
 EXTERIOR ELEVATIONS



Wednesday, October 26, 2022

## Rezoning Neighborhood Hearing

# 1117 26th Street

- **Efforts to notify neighbors about the proposal, including how and when notification occurred, who was notified, and when and where the public meeting was held**
  - A letter containing the meeting agenda and dial-in information was mailed to the 42 addresses provided using the USPS.
  - Letters were mailed on Saturday, October 15th, 2022.
  - The virtual meeting was held at 5:45pm on Wednesday, October 26th, 2022.
  - No participants joined the meeting.
  - Host waited 15min before Google closed the Hangouts meeting.
  
- **Who was involved in the discussions**
  - N/A
  
- **Suggestions and concerns raised by neighbors**
  - N/A
  
- **What specific changes, if any, were considered or made as a result of the neighbor meetings.**
  - N/A

**From:** [Alejandro Munoz de la Cruz](#)  
**To:** [Chakraborty, Sreyoshi](#)  
**Subject:** Re: 1117 26TH ST Rezoning  
**Date:** Monday, October 31, 2022 9:42:44 AM  
**Attachments:** [image001.png](#)

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**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Sreyoshi. I hope you had a good weekend. Here is the follow up information we discussed based on my convos with the neighbor. Look forward to Wednesday's meeting.

When discussing the plan for the property the house to the north mentioned they don't love the "driveway" that's in between our houses which connects 26th Street with the back alley. After some discussion we agreed to remove it and instead we will be working with the landscapers to modify the final grade of the house to smoothly connect our front yard with theirs. Also, we will be collaborating with them on the concrete work that will be done in the area between our garages. The concrete will replace the gravel that's currently there. Finally, they are excited for us to begin working on improving the condition of the building as their kids think the house is "scary" right now. I mentioned we will likely have to wait until next spring to start as foundation work will be required as part of the build. They were a bit disappointed with having to wait that long. However, they understand we can't control the weather.

Thanks!

On Thu, Oct 27, 2022 at 12:23 PM Alejandro Munoz de la Cruz  
<[amunoz@puravidadsm.com](mailto:amunoz@puravidadsm.com)> wrote:

Yes, I've had conversations with the next door neighbors. I'll document that and send you a revised version of the document.

Thanks,

Alejandro

On Thu, Oct 27, 2022 at 12:12 PM Chakraborty, Sreyoshi <[SChakraborty@dmgov.org](mailto:SChakraborty@dmgov.org)>  
wrote:

Thank you for the summary.

That could happen sometimes when no attendees show up, especially for Zoom meetings. Have you had any separate conversations or feedback from your immediate neighbors to the property? If yes, you could document those for the Commissioners as well.

The agenda and the staff report will be emailed to you tomorrow. That should have all the details for the meeting. But it is at 6 pm next week at the City's Municipal Services Center Boardroom.

Item: ZONG-2022-000093

Date: 10-27-22

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Staff Use Only  
  
**RECEIVED**  
COMMUNITY DEVELOPMENT  
  
OCT 31 2022

Signature: *LUCY MACE*

Name: LUCY MACE

Address: 1123-24 Des Moines La  
50311

Reason for opposing or approving this request may be listed below:

There are already too many apartments  
in the area. What happened to the ruling, if a house  
becomes empty it can not be made into an apartment or duplex.  
It has to be a single family home. Too much crime, no parking

Item: ZONG-2022-000093

Date: 10-25-22

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Staff Use Only  
  
**RECEIVED**  
COMMUNITY DEVELOPMENT  
  
OCT 31 2022

Signature: *Maria La France*

Name: Maria La France

Address: 1107 24th St.

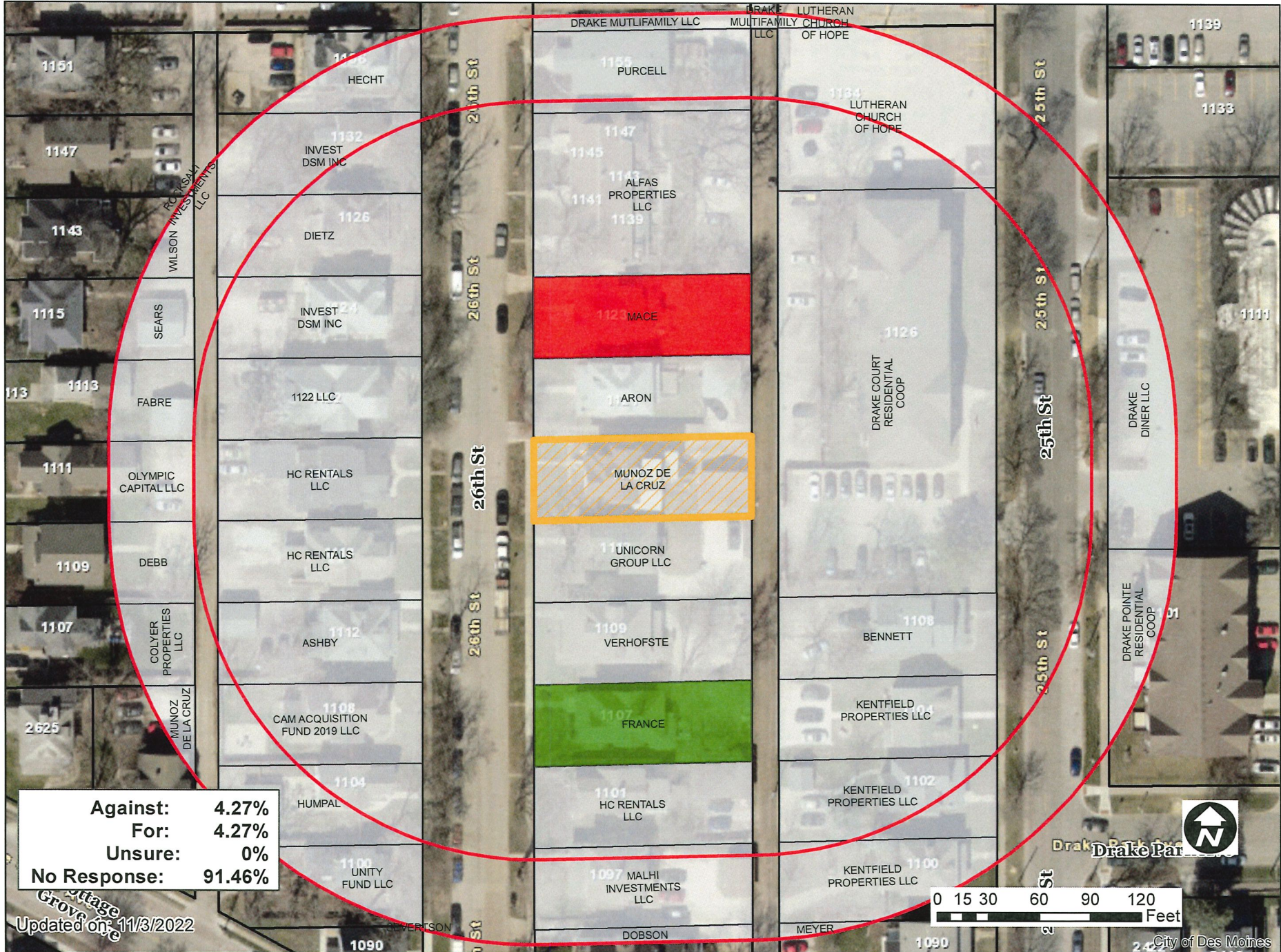
Reason for opposing or approving this request may be listed below:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# Alejandro J. Munoz De La Cruz, 1117 26th Street

ZONG-2022-000093



1 inch = 75 feet



Alejandro J. Munoz De La Cruz, 1117 26th Street

ZONG-2022-000093



1 inch = 75 feet