

Date February 7, 2022

**RESOLUTION HOLDING HEARING ON APPEAL OF GLAD TIDINGS ASSEMBLY OF GOD CHURCH
OF DENIAL OF A TYPE 2 DESIGN ALTERNATIVE FOR A PUBLIC HEARING SITE PLAN FOR
PROPERTY LOCATED AT 2145 EAST ARMY POST ROAD**

WHEREAS, at a public hearing held on November 18, 2021, the City Plan and Zoning Commission considered a request from Glad Tidings Assembly of God Church (owner), represented by Bill Wenig (officer), for approval of the Site Plan “Glad Tidings Assembly of God Church” with a Type 2 design alternative fully or partially waiving the front yard and side yard surface parking restrictions in the front yard along primary frontages set forth in Municipal Code Section 135-9.2.4(B) and 135-9.3.1(B) related to the proposed development as shown in the Site Plan submitted for the vacant property located at 2145 East Army Post Road (“Property”); and

WHEREAS, Section 135-2.10.3(A)(8) of the Planning and Design ordinance provides that for Civic buildings within the “P2” District, surface parking and loading is to be located within rear and interior side yards only along a non-primary façade; and

WHEREAS, in review and recommendation to the City Plan and Zoning Commission, the City’s Planning Administrator recommended denial of the requested Type 2 Design Alternative to waive or modify said ordinance requirements to allow the surface parking in the front yard and street facing side yard along the East Army Post Road primary frontage of the site; and

WHEREAS, the Plan and Zoning Commission voted 8-3 for **DENIAL** of the requested Type 2 Design Alternative to waive or modify said ordinance requirements to allow the surface parking in the front yard and street facing side yard along the East Army Post Road primary frontage of the site rather than approving it as requested by Glad Tidings Assembly of God Church; and

WHEREAS, Glad Tidings Assembly of God Church has timely appealed to the City Council pursuant to Municipal Code Section 135-9.3.9.B seeking further review of the Plan and Zoning Commission’s denial of the Type 2 design alternative to the Site Plan to fully or partially waiving the front yard and side yard surface parking restrictions along the East Army Post Road primary frontage set forth in Municipal Code Section 135-9.2.4(B) and 135-9.3.1(B) related to the proposed development as shown in the Site Plan submitted for the vacant property located at 2145 East Army Post Road; and

WHEREAS, on January 10, 2022, by Roll Call No. 22-0042, it was duly resolved by the City Council that the appeal be set down for hearing on January 24, 2022 at 5:00 P.M. in the Council Chambers; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place of hearing on said appeal; and

WHEREAS, on January 24, 2010, by Roll Call No. 22-0109, the City Council opened and upon its own motion, continued said hearing to 5:00 p.m. on February 7, 2022, for additional review time; and



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WHEREAS, in accordance with said notice, those interested in said appeal and the proposed Type 2 Design Alternative, both for and against, have been given the opportunity to be heard with respect thereto and have presented their views to the City Council.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa as follows:

1. Upon due consideration of the facts and any statements of interested persons and arguments of counsel, any and all arguments and objections to the Plan and Zoning Commission's denial of the Type 2 Design Alternative in form requested by Glad Tidings Assembly of God Church for property located at 2145 East Army Post Road, as described above, are hereby received and filed.
2. The communications from the Plan and Zoning Commission, and Glad Tidings Assembly of God Church are hereby received and filed.

Alternative A

MOVED BY _____ to **DENY** the Type 2 Design Alternative in form requested by Glad Tidings Assembly of God Church described above, to uphold and **APPROVE** the Type 2 Design Alternative in form approved by the Plan and Zoning Commission, and to make the following findings of fact and objections regarding the Type 2 Design Alternatives as proposed by Glad Tidings Assembly of God Church:

- a. Municipal Code Section 135-2.10.3(A)(8) requires Civic buildings within the "P2" District to have surface parking and loading located in rear yards and interior side yards along a non primary frontage.
- b. The Property is a vacant site of more than 8 acres, with no existing buildings or site conditions that make strict compliance with the applicable regulations impractical.
- c. The site is near an intersection of two primary streets, East Army Post Road and Indianola Avenue, which is noted as a Neighborhood Node on the City's Land Use Map. The future land uses and zoning show the intent of the code to promote pedestrian oriented development that engages the street, with buildings close to the public right-of-way, and there are no planned features of the development that would hinder development meeting that intent.
- d. Glad Tidings proposal for the Type 2 Design Alternative to the requirements of Section 135-2.10.3(A)(8) is for full waiver along East Army Post Road, resulting in the entire surface parking area being located in the yard between the proposed building and the abutting street, and it is based on preference, rather than need.
- e. City Planning staff recommended denial of said Type 2 design alternative for partial or full waiver of Section 135-2.10.3(A)(8) as requested by Glad Tidings Church.
- f. Glad Tidings Assembly of God Church has not met the burden required to demonstrate that its requested design alternative meets the criteria for approval or that the result of the design alternatives would equal or exceed the result of compliance with the above-stated alternate Type 2 Design Alternatives approved by the Plan and Zoning Commission, constituting a compromise position between full compliance with the Planning and Design Ordinance and Glad Tidings Church's proposal.

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- g. Glad Tidings Assembly of God Church has not shown that its requested design alternative is consistent with all relevant purpose and intent statements of the Planning and Design Ordinance and with the general purpose and intent of the comprehensive plan.
- h. Glad Tidings Assembly of God Church has not shown that its requested design alternatives will not have a substantial or undue adverse effect on the public health, safety, and general welfare.
- i. The Type 2 Design Alternatives as proposed by Glad Tidings Assembly of God Church should not be approved for the reasons stated above.
- j. The Type 2 Design Alternatives, in form approved by the Plan and Zoning Commission, should be upheld and approved for the reasons stated above.

Alternative B

MOVED BY _____ to **APPROVE** the proposed Type 2 Design Alternatives in form requested by Glad Tidings Assembly of God Church and described above, and to make the following findings of fact in support of approval of the proposed Type 2 Design Alternatives:

- a. Municipal Code Section 135-2.10.3(A)(8) requires Civic buildings within the “P2” District to have surface parking and loading located in rear yards and interior side yards along a non-primary frontage, but the Design Code allows for applicants to seek a Type 2 Design Alternative.
- b. The Property is a vacant site of more than 8 acres, with but proposed site conditions, the parking will be mostly hidden from view along Army Post, and it will include a detention basin along Indianola Avenue that make strict compliance with the applicable regulations impractical along Army Post Road.
- c. The site is near an intersection of two primary streets, East Army Post Road and Indianola Avenue, which is noted as a Neighborhood Node on the City’s Land Use Map. The future land uses and zoning show the intent of the code to promote development that engages the street, with buildings close to the public right-of-way, but the proposed structure by design will not be a typical commercial building with cars parked there all the time, so it would still meet the intent.
- d. Glad Tidings proposal for the Type 2 Design Alternative to the requirements of Section 135-2.10.3(A)(8) is for full waiver along East Army Post Road, resulting in the entire surface parking area being located in the yard between the proposed building and the abutting street, based on preference to meet neighborhood and congregational need.
- e. Glad Tidings Assembly of God Church has met the burden required to demonstrate that the requested design alternative meets the criteria for approval and that the result of the design alternatives would equal or exceed the result of strict compliance with Section 135-2.10.3(A)(8) of the Planning and Design Ordinance.
- f. Glad Tidings Assembly of God Church has shown that the requested design alternative is consistent with all relevant purpose and intent statements of the Planning and Design Ordinance and with the general purpose and intent of the comprehensive plan.
- g. Glad Tidings Assembly of God Church has shown that the requested design alternative will not have a substantial or undue adverse effect on the public health, safety, and general welfare.
- h. Said Type 2 Design Alternatives, in form requested by Glad Tidings Assembly of God Church, should be approved for the above-stated reasons and incorporated into the approved Site Plan for the Property.

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MOVED by _____ to adopt.

FORM APPROVED:

/s/ Judy K. Parks-Kruse

Judy K. Parks-Kruse, Assistant City Attorney

(SITE-2021-000020)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
MANDELBAUM				
SHEUMAKER				
VOSS				
WESTERGAARD				
TOTAL				

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

MOTION CARRIED

APPROVED

Mayor

City Clerk

November 29, 2021

Communication from the City Plan and Zoning Commission advising that at their November 18, 2021 meeting, the following action was taken regarding a request from Glad Tidings Assembly of God Church (owner), represented by Bill Wenig (officer), for review and approval of a Public Hearing Site Plan for property located in the vicinity of 2145 East Army Post Road, and for a Type 2 Design Alternative in accordance with City Code Sections 135-9.2.4(B) and 135-9.3.1(B), to allow surface parking in a front yard and street side yard along primary frontages, per City Code Section 135-2.10.3(A)(8).

COMMISSION RECOMMENDATION:

After public hearing, the members voted 8-3 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus		X		
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson		X		
Chris Draper	X			
Jann Freed	X			
Todd Garner	X			
Johnny Alcivar				X
Lisa Howard				X
Carolyn Jenison	X			
William Page				X
Steve Wallace	X			
Greg Wattier	X			
Emily Webb		X		

DENIAL of the requested Type 2 Design Alternative for parking along East Army Post Road.

Approval of the requested Type 2 Design Alternative for parking along Indianola Avenue.

Approval of the Public Hearing Site Plan, subject to compliance with all administrative comments.

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends denial of the requested Type 2 Design Alternative along East Army Post Road.

Staff recommends approval of the requested Type 2 Design Alternative along Indianola Avenue.

Staff recommends approval of the Public Hearing Site Plan subject to compliance with all administrative comments.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing an on-site surface parking lot in the front yard of their site. The Planning and Design Ordinance requires on-site surface parking lots to be located in the rear yard or interior side yard of a Civic building in properties zoned "P2" District. Design alternative review criteria can be found in Section I, subparagraph 10 of this report. Staff analysis of the proposal can be found in Section II of the report.

2. **Size of Site:** 350,048 square feet (8.036 acres).

3. **Existing Zoning (site):** "P2" District.

4. **Existing Land Use (site):** The site is currently undeveloped.

5. Adjacent Land Use and Zoning:

North – "MX1" and "NX2"; Uses are a fueling station and single-household residential.

South – "N1a"; Use is single-household residential.

East – "P1"; Use is a cemetery.

West – "EX"; Uses are agriculture crops and industrial uses.

6. **General Neighborhood/Area Land Uses:** The subject property is located along the southwest corner of Indianola Avenue and East Army Post Road along a highway commercial corridor east of the Southeast 14th Street intersection, in an area that includes a mix of industrial, commercial, and residential uses.

7. **Applicable Recognized Neighborhood(s):** The subject property is in the Easter Lake Area Neighborhood. The neighborhood association was notified of the public hearing by mailing of the Preliminary Agenda on October 29, 2021 and by mailing of the Final Agenda on November 10, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on November 8, 2021 (10 days prior to the public hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing. The Easter Lake Area Neighborhood mailings were sent to Jim Bollard, 4007 SE 26th Street, Des Moines, IA 50320.

8. Relevant Zoning History: None.

9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation: Business Park, Neighborhood Mixed Use, Medium Density Residential, and Low Density Residential.

10. Applicable Regulations: Pursuant to Section 135-9.1.1.B of the Planning and Design Ordinance, the site plan review requirements of Chapter 135 are designed to ensure the orderly and harmonious development of property in a manner that shall:

- Promote the most beneficial relation between present and proposed future uses of land and the present and proposed future circulation of traffic throughout the city;
- Permit present development of property commensurate with fair and orderly planning for future development of other properties in the various areas of the city with respect to the availability and capacity, present and foreseeable, of public facilities and services. The factors to be considered in arriving at a conclusion concerning proposed present development of property shall include the following:
 - The maximum population density for the proposed development, the proposed density of use, and consideration of the effect the proposal will have on the capacity of existing water and sanitary sewer lines to the end that existing systems will not become overloaded or capacity so substantially decreased that site use will inhibit or preclude planned future development;
 - Zoning restrictions at the time of the proposal;
 - The city's comprehensive plan;
 - The city's plans for future construction and provision for public facilities and services; and
 - The facilities and services already available to the area which will be affected by the proposed site use;
- Encourage adequate provision for surface and subsurface drainage, in order to ensure that future development and other properties in various areas of the city will not be adversely affected;
- Provide suitable screening of parking, truck loading, refuse and recycling disposal, and outdoor storage areas from adjacent residential districts;
- Encourage the preservation of canopied areas and mature trees and require mitigation for the removal of trees; and
- Consider the smart planning principles set forth in Iowa Code Chapter 18B.

Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

- The design alternative provisions of Section 135-9.2.4 are intended to authorize the granting of relief from strict compliance with the regulations of this chapter as part of the site plan or alternate design documentation review process when specific site features or characteristics of the subject property, including the presence of existing buildings, creates conditions that make strict compliance with applicable regulations impractical or undesirable. The design alternative provisions are also intended to recognize that alternative design solutions may result in equal or better implementation of the regulation's intended purpose and greater consistency with the comprehensive plan.
- Consideration of requested design alternatives through the administrative and public hearing review processes will be evaluated on the merits of the applicable request and independently of prior requests from the same applicant, and may include the following criteria:
 - An evaluation of the character of the surrounding neighborhood, such as:
 - Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
 - Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s);
- For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination will be based upon the assumption that such lots, as if developed, comply with the applicable requirements of this chapter for which a design alternative(s) has been requested;
 - The totality of the number and extent of design alternatives requested compared to the requirements of this chapter for each site plan or alternate design documentation reviewed;
 - Whether the requested design alternative(s) is consistent with all relevant purpose and intent statements of this design ordinance and with the general purpose and intent of the comprehensive plan;
 - Whether the requested design alternative(s) will have a substantial or undue adverse effect upon adjacent property, the character of the surrounding area or the public health, safety and general welfare;
 - Whether any adverse impacts resulting from the requested design alternative(s) will be mitigated to the maximum extent feasible; and
 - Other factors determined relevant by the community development director, plan and zoning commission, or city council as applicable.

II. ADDITIONAL APPLICABLE INFORMATION

Section 135-2.10.3(A)(8) of the Planning and Design Ordinance applicable to Civic buildings within the "P2" District allows for surface parking and loading to occur within rear and interior side yards only. The proposed site plan consists of a 23,000-square foot building with surface parking lot in the front yard and street side yard, with both streets classified as primary streets in the City of Des Moines Primary Streets Frontages map.

The proposed project is located on a site exceeding eight (8) acres in size, and the site is featured on the intersection of East Army Post Road and Indianola Avenue, which is noted as a Neighborhood Node on the City's Land Use Map. Within that node and the site itself, the future land use map indicates mixed-use and medium density uses, and current zoning features MX1 and NX2 zoning districts to the north and northeast of the site. The convergence of all these factors leads the intent of the code to promote development that engages the street, with buildings closer to the public right-of-way, and avoid having parking lots that front primary frontages.

The applicant has indicated that they prefer to locate the parking in front of the building and that relocating the parking to the rear or side yard is undesirable. They have also indicated some general ideas for future use of the remainder of the site, including a building expansion and proposed areas for future parking within the rear and interior side yard areas.

Along Indianola Avenue, the site plan indicates that much of the parking is proposed on the street side yard setback area. While staff notes this is also inconsistent with City Code requirements, staff recognizes that the setback from Indianola Avenue doubles as storm water detention with landscaping included around that basin and places the parking area behind even the rear property line of existing single-family residences that front Indianola Avenue. As such, staff finds the mixture of buffering and substantial setback helps offset negative impacts the code intends to mitigate by having parking in the front yard or street side yard and is supportive of allowing parking along this frontage.

Along East Army Post Road, however, staff finds that the site does have sufficient space in the rear and the interior side yards of the site to comply with code standards, as staff cites proposed future parking locations in the rear and interior side yards of the site. Additionally, given the proposed character of the future neighborhood node, staff finds parking in a front yard area within this node to be inconsistent with the future land use map and the intent of the Code. Finally, applicant has not demonstrated that they face a practical difficulty in complying with the requirement, and notes that the layout of the building, with a secondary entrance to the south, further enhances the ability to provide efficient parking to the rear of the building.

SUMMARY OF DISCUSSION

Frank Dunn-Young presented staff report and recommendation.

Rick Baumhover representing Bishop Engineering stated they feel this request is keeping the general feel of the neighborhood and not damaging the character of the neighborhood. They intend to fully comply with the City's landscape standards, provide the fence buffer along the North side of the property and have also eliminated 2 rows of parking. They

have also increased the 15-foot setback to 30-foot to add more space and create more of a buffer from the parking lot. Again, they feel this fits the character of the neighborhood as developed properties around them have parking in the front.

Pastor Bill, 314 E. Army Post Road, representing Glad Tidings Assembly of God stated the idea is to present a beautiful front to the community and to provide a shorter walking distance for the elderly that attend their church. With a lot of mobile home lots in this area, they would like to keep the back portion of the parcel open for youth events, a place families can come together and be a good asset for the community.

Chris Draper asked how much concrete work has been done.

Pastor Bill stated they would like to start with the drive approaches from Army Post Road and Indianola Avenue.

Chris Draper asked if any concrete work has been done at this location. If plans change, nothing will need to be torn out.

Pastor Bill stated no but the reason for parking in the front would be for the elderly having a shorter distance to the entrance. Also, given the entrance locations, they will be eliminating security risks.

Chris Draper stated there is no sunk cost or anything that could change the flow of the parking right now.

Pastor Bill stated in the long term, it would cost more money as they would have to tear out parking in order for them to expand their building in the future. They feel this is the most effective way to minister the people attending their church.

CHAIRPERSON OPENED THE PUBLIC HEARING

Jeff Rains, 3820 79th Street, Urbandale, IA, representing Rains Architecture, stated they want the drop-off and steeple to face the community and intersection. If the parking and main entrance are in the back, it would be downhill, below the level of the street, not as visible and would feel they are turning their back on the neighborhood. Given the elevation and landscaping, you won't be able to see much of that parking from East Army Post Road.

Lyle Taylor member of Glad Tidings stated this isn't a typical commercial building and will not have cars parked there all the time. As it is today, given the elevation from East Army Post Road, you can barely see what's on top.

CHAIRPERSON CLOSED THE PUBLIC HEARING

Greg Wattier asked if the zoning ordinance states the front door must face a primary street and parking in the front is prohibited.

Jason Van Essen stated that is correct, there must be a front door facing the street, with parking along the interior side or rear yard.

Greg Wattier stated if the front door faced East, those to requirements could be met.

Jason Van Essen stated correct.

Chris Draper stated the front door should face the main street and be visible, it shouldn't be different in this situation.

COMMISSION ACTION:

Chris Draper made a motion for the following:

Denial of the requested Type 2 Design Alternative for parking along East Army Post Road.

Approval of the requested Type 2 Design Alternative for parking along Indianola Avenue.

Approval of the Public Hearing Site Plan, subject to compliance with all administrative comments.

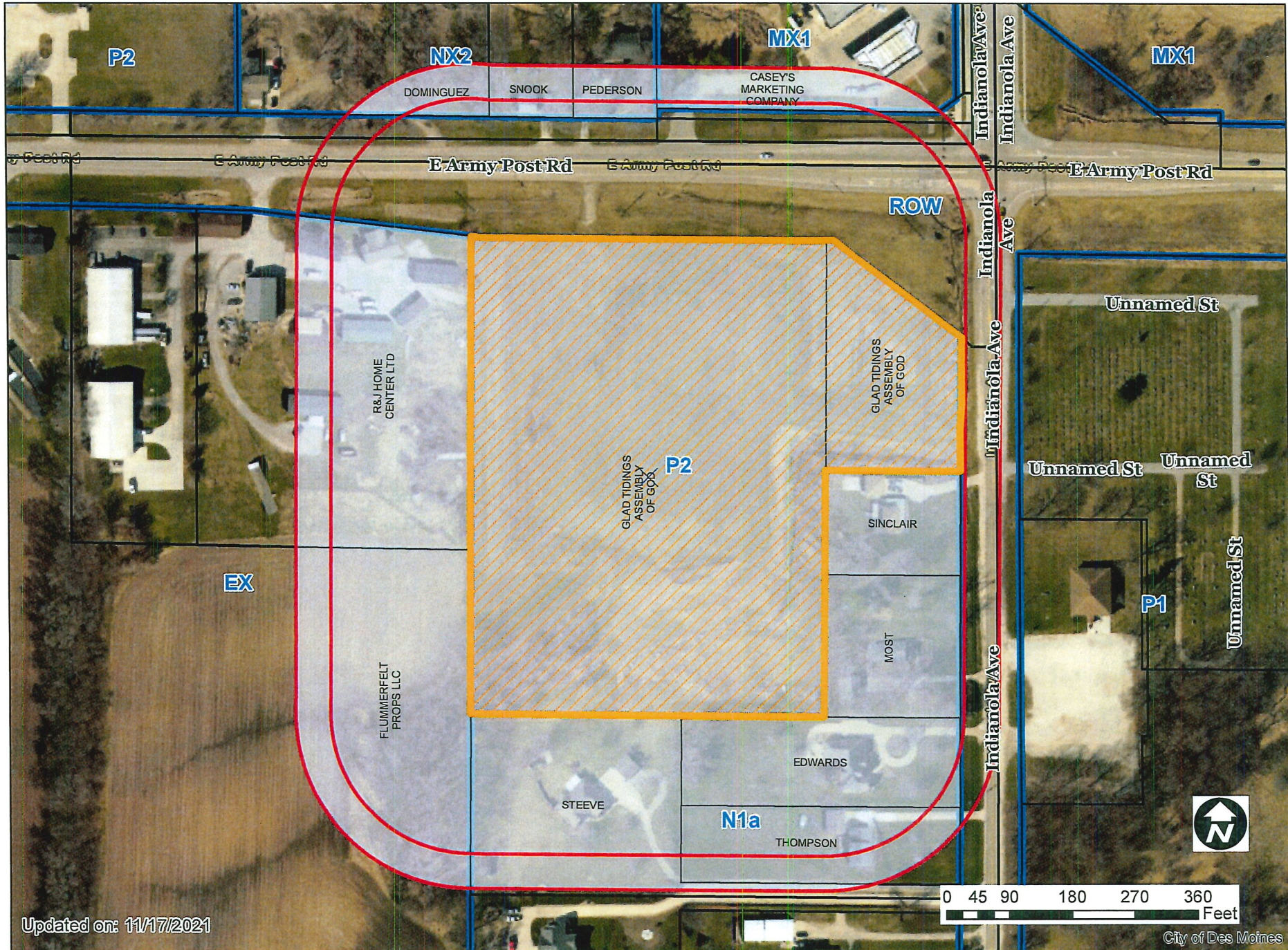
Motion passed: 8-3

Respectfully submitted,

Bert Drost

Bert Drost, AICP
Planning & Urban Design Deputy Administrator

BAD:tjh



Updated on: 11/17/2021

City of Des Moines

1 inch = 183 feet

22-0169

PRELIMINARY - NOT FOR CONSTRUCTION

GLAD TIDINGS ASSEMBLY OF GOD CHURCH SITE PLAN

LEGEND:

- SAN - SANITARY SEWER
- ST - STORM SEWER
- W - WATER LINE
- G - GAS LINE
- UG - UNDERGROUND ELECTRIC
- OE - OVERHEAD ELECTRIC
- TEL - TELEPHONE LINE
- FO - FIBER OPTIC
- CAB - CABLE TV
- S - STORM MANHOLE
- C - CURB BITE
- SI - SURFACE INTAKE
- F - FLARED END SECTION
- S - SANITARY MANHOLE
- C - CLEANOUT
- FH - FIRE HYDRANT
- S - SPRINKLER
- I - IRRIGATION CONTROL VALVE
- W - WATER MANHOLE
- W - WELL
- V - WATER VALVE
- W - WATER SHUT OFF
- Y - YARD HYDRANT
- E - ELECTRIC MANHOLE
- E - ELECTRIC LASTER
- E - ELECTRIC RISER
- E - ELECTRIC VAULT
- P - POWER POLE
- T - TRANSFORMER POLE
- L - LIGHT POLE
- E - ELECTRIC JUNCTION BOX
- E - ELECTRIC PANEL
- T - TRANSFORMER
- G - GROUND LIGHT
- G - GUY WIRE
- E - ELECTRIC HANDHOLE
- C - GAS METER
- G - GAS VALVE
- A - AIR CONDITIONING UNIT
- T - TELEPHONE RISER
- T - TELEPHONE VAULT
- T - TELEPHONE MANHOLE
- T - TRAFFIC SIGNAL MANHOLE
- FO - FIBER OPTIC MANHOLE
- FO - FIBER OPTIC RISER
- FO - FIBER OPTIC FAULT
- C - CABLE TV RISER
- S - SIGN
- B - BOLLARD
- N - DENOTES NUMBER OF PARKING STALLS
- P - PROPERTY CORNER - FOUND AS NOTED
- H - PROPERTY CORNER - PLACED AS NOTED
- S - SECTION CORNER - FOUND AS NOTED

ABBREVIATIONS:

- AS - ASPHALT
- BK - BOOK
- CONC - CONCRETE
- D - DECEASED DISTANCE
- EST - EXISTING
- FF - FINISHED FLOOR
- FL - FLOW LINE
- FRAC - FRACTIONAL
- H - MEASURED DISTANCE
- HR - MANHOLE
- OPC - ORANGE PLASTIC CAP
- P - PLATTED DISTANCE
- PG - PAGE
- POB - POINT OF BEGINNING
- POC - POINT OF COMPLETION
- PRA - PREVIOUSLY RECORDED AS PUBLIC UTILITY EASEMENT
- R/W - RIGHT OF WAY
- RFC - RED PLASTIC CAP
- SF - SQUARE FEET
- SAN - SANITARY
- TYP - TYPICAL
- Y - YELLOW PLASTIC CAP
- N - NORTH
- S - SOUTH
- E - EAST
- W - WEST

BENCHMARK:

- BM 4205 - A CUT TRIANGLE AT NORTH END OF HEADWALL LOCATED AT THE SW CORNER OF E ARMY POST ROAD AND INDIANOLA AVENUE (CITY OF DES MOINES DATUM)
- BM 4212 - A TRIANGLE CUT IN SW CORNER LOCATED 160 FEET NORTH OF THE NW CORNER OF A 6 ACRE PARCEL (CITY OF DES MOINES DATUM)
- SITE TBM - ARROW ON FIRE HYDRANT LOCATED 160 FEET NORTH OF THE NW CORNER OF A 6 ACRE PARCEL (CITY OF DES MOINES DATUM)



GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH SUPAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF DES MOINES MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A., CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
- RESHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION BY PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL REPORT ON EXPERT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY. THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE TO OBTAIN REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF DES MOINES.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, HYPES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ADJUTING PROPERTIES AS THE RESULT OF CONSTRUCTION AT THE END OF EACH WORKDAY. THE CONTRACTOR SHALL MAINTAIN TRUCKS AND EQUIPMENT OFF OF THE ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED INTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

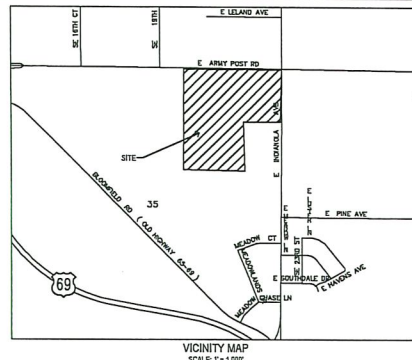
- THE PAVING/GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FIVE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING IS POSSIBLE. ALL AREAS SHALL BE SEEDDED IN ACCORDANCE WITH CITY OF DES MOINES STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUPAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBGRADE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL FEDESTRIAN WALKWAYS THAT UNLOAD INTO A PUBLIC STREET MUST HAVE A.D.A. DETECTABLE WARNING PANELS AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARDS.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMP, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.
- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT'S FOR ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF STORM WATER DETENTION SYSTEM & DETENTION SYSTEM STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING RICK BAUMHOVER AT 515-279-4240 TO PERFORM AS-BUILT SURVEY. IF DETENTION SYSTEM HAS BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEY'S UTIL. ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TUBES DISCOVERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH 18" x 4" TYPE B CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- WATERMANS SHALL BE CALO. SIZE OF WATERMAN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAN CONSTRUCTION.
- PROPOSED WATERMAN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATERMAN SHALL BE DONE BY THE CITY OF DES MOINES.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF DES MOINES WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 35 FEET.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH HIGH UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONFORMANCE.
 - CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.
- UTILITY MAPS PROVIDED BY:
- ELECTRIC (PROVIDER / CONTACT INFO)
 - STORM AND SANITARY (PROVIDER / CONTACT INFO)
 - FIBER OPTIC (PROVIDER / CONTACT INFO)
 - CABLE (PROVIDER / CONTACT INFO)
 - GAS (PROVIDER / CONTACT INFO)
 - WATER (PROVIDER / CONTACT INFO)
 - OTHER (PROVIDER / CONTACT INFO)
- UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING. ALL EXISTING UTILITIES, UNLESS OTHERWISE NOTED, ARE UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT IS THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WILL BE MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

CITY OF DES MOINES NOTES:

- THIS SITE SHALL BE MAINTAINED BY COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF FIELD PLAN APPROVAL.
- ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
- MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD, AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN, NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO ANY LANDSCAPING/CONSTRUCTION.
- ALL NEW OUTDOOR LIGHTING MUST BE LOW GLARE CUTOFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES. POLE HEIGHTS SHALL NOT EXCEED 20 FEET.
- NEW LIGHTING ELECTRICAL LINES SHALL BE UNDERGROUND.
- THE REQUIRED LANDSCAPING BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL DISTURBED AREAS SHALL BE RESTORED BY SEEDING OR SOODING PER LANDSCAPING PLAN. ANY AREA DISTURBED BY CONSTRUCTION ACTIVITY NOT SHOWN ON PLANS SHALL BE SEEDDED.
- TO APPLY FOR PERMITS (SUBDIVISION APPROACH, GRADING, RIGHT-OF-WAY EXCAVATION/CONSTRUCTION, FLOODPLAIN, ETC.) WITH THE CITY OF DES MOINES PLEASE VISIT THE CUSTOMER SELF SERVICE (CSS) PORTAL. IF THIS IS YOUR FIRST TIME USING CSS OR APPLYING FOR PERMITS WITH THE CITY YOU WILL BE PROMPTED TO CREATE AN ACCOUNT BEFORE APPLYING.



PREPARED FOR OWNER / APPLICANT:
GLAD TIDINGS ASSEMBLY OF GOD
2145 E ARMY POST ROAD
DES MOINES, IOWA 50315-8825
PASTOR BILL WENG
PH. 515285-2656

ZONING:
P2
BUILDING TYPE: CHURCH (church)

GENERAL BUILDING SETBACKS:
FRONT: 20'
SIDE: 10'
REAR: 20'

BUILDING SHALL BE SPRINKLER-LED

SITE AREA:
2.19 ACRES

PARKING REQUIREMENTS:
PARKING REQUIRED: 1 STALL PER 6 SEATS OF ASSEMBLY AREA
= 411 SEATS X (1 PER 6) = 68 STALLS (INCLUDE 3 ADA STALLS)
PROVIDER: 88 STALLS (INCL. 4 ADA)

BIKE RACKS: 1 PER 200 SEATS (MIN 2)
= 411 SEATS X (1 PER 200) = 2 RACKS

MAXIMUM IMPERVIOUS AREA:
MAXIMUM IMPERVIOUS AREA ALLOWED = 75% OF SITE
= 6.78 ACRES X 75% = 5.08 AC
PROVIDED = 182 ACRES (19.2%)

IMPERVIOUS SURFACE:
PROPOSED = 78,189 S.F. = 1.82 ACRES

DISTURBED AREA:
= 3.19 ACRES

ZONING BOARD OF ADJUSTMENT: (ZON 2013-00100) JULY 24, 2013

- SPECIAL PERMIT FOR STEEPLE HEIGHT OF 50 FEET.
- EXEMPTION OF 15 FEET LESS THAN THE MINIMUM 30 FEET FRONT YARD SET BACK REQUIRED FOR PARKING LOT

CROSS-CONNECTION EASEMENT
CROSS-CONNECTION EASEMENT WANTED BY CITY OF DES MOINES TRAFFIC ENGINEER ON MARCH 25, 2014. (DUE TO TOPOGRAPHY CONSTRAINTS OF SITE)

SHEET INDEX:

- C0.1 COVER SHEET
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.2 LANDSCAPE MITIGATION
- C6.1 DETAILS SHEET
- C7.1 SWPPP PLAN

SITE PLAN APPROVAL:

APPROVED APPROVED WITH CONDITIONS SEE EXHIBIT 'A'
IN ACCORDANCE WITH SECTION 156-5. 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.

DATE: _____ COMMUNITY DEVELOPMENT DIRECTOR: _____



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: RICHARD H. BAUMHOVER, P.E. 12386 DATE: _____
LICENSE RENEWAL DATE: DEC. 31, 2021
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1

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Established 1979

GLAD TIDINGS ASSEMBLY OF GOD CHURCH
2145 E ARMY POST RD., DES MOINES
COVER SHEET

REFERENCE NUMBER:
120349

DRAWN BY:
CEJ

CHECKED BY:
CEJ

REVISION DATE:
3-31-21 CITY
10-20-21 2nd CITY

PROJECT NUMBER:
200526

PREF NUMBER:
C0.1

3/20/2021 11:34 AM ALL LAND PRODUCTS 20200526.DWG CD/CEJ/DO

PRELIMINARY- NOT FOR CONSTRUCTION

PAVING NOTES:

1. Place expansion joints in concrete between walls and parking lot.
2. Sawcut new pavement to match existing joints, into squares between approximately 10' x 10' and 15' x 15'. Length shall not exceed 150% of width.

PAVEMENT MARKING NOTES:

1. Paint a 4" yellow strip line for all stalls and other markings as shown.

TRASH ENCLOSURE DETAILS:

SEE DETAIL ON SHEET C6.1

The dumpster enclosure shall be constructed in substantial conformance with this diagram and this development plan showing shall supersede, for construction purposes, any and all dumpster enclosure diagrams proposed.

Keyed Notes:

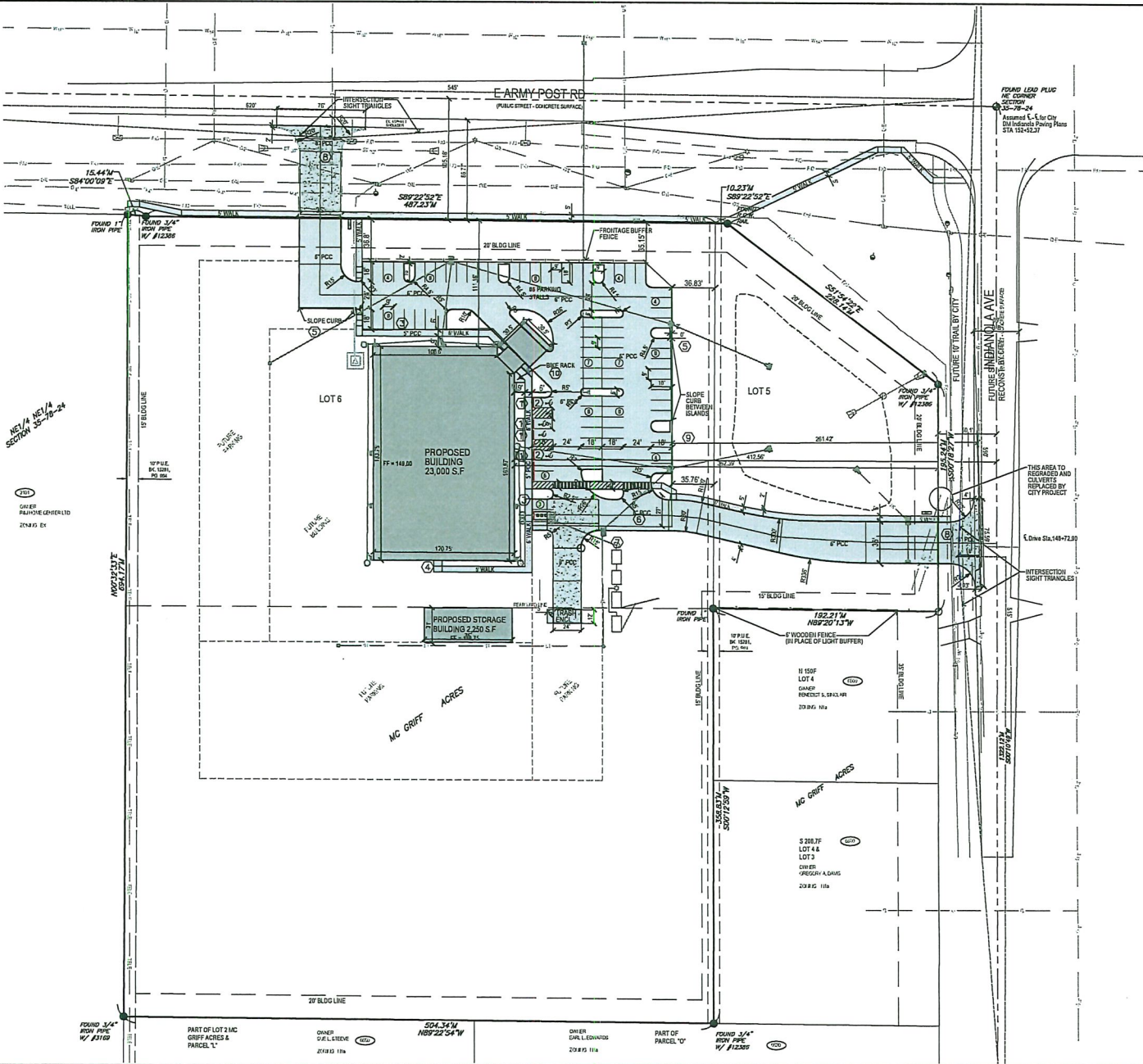
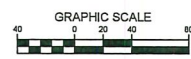
- ① HANDICAP SIGN WITH BOLLARD (SEE DETAIL ON DETAILS SHEET)
- ② SIDEWALK RAMP
- ③ SIDEWALK- TURNED DOWN CURB STYLE
- ④ 5'X7' EXIT DOOR LANDING - 5" PCC
- ⑤ SLOPED CURB (SEE DETAIL ON DETAILS SHEET)
- ⑥ HEAVY DUTY PCC PAVEMENT - 8" THICK PCC
- ⑦ TRASH ENCLOSURE (SEE DETAIL ON DETAILS SHEET)
- ⑧ 8" THICK PCC DRIVE APPROACH
- ⑨ ON-SITE WASTEWATER TREATMENT SYSTEM (SEPTIC TANKS AND PEAT FILTERS)
- ⑩ BIKE RACK - SEE DETAIL SHEET FOR MODEL AND DETAILS

Legend:

-
-
-
-

NE 1/4 NE 1/4 SECTION 35-7B-24

OWNER: GARDNER PRAIRIE CENTER LTD. 2019 1/2 EX



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GLAD TIDINGS ASSEMBLY OF GOD CHURCH
 2145 E ARMY POST RD, DES MOINES

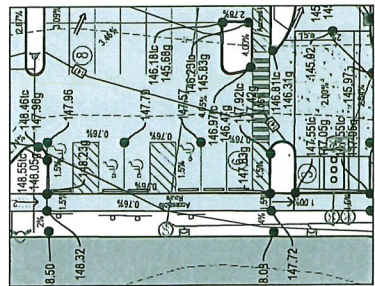
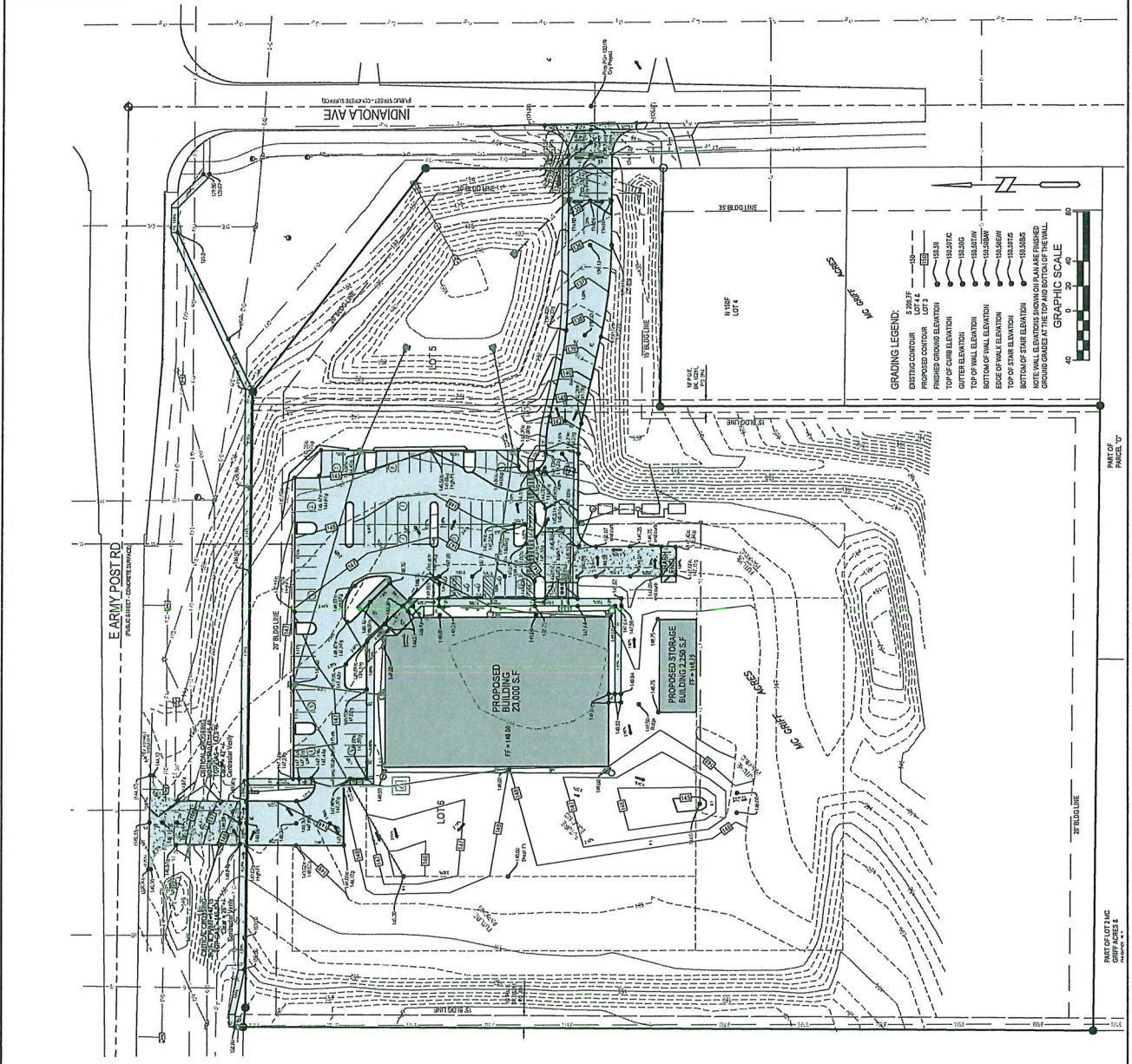
LAYOUT PLAN

PROJECT NUMBER:	200526
CLIENT:	CEL
DESIGNED BY:	CEL
CHECKED BY:	CEL
REVISION DATE:	3-31-21 CITY 10-20-21 2nd CITY
PROJECT NUMBER:	200526
SHEET NUMBER:	C2.1

PROJECT: 11/20/21 11:20:21 AM, LAND PROJECTS: 3030202020/002/002/LAND/002/002

- TOPSOIL NOTES:**
1. EXISTING TOPSOIL TO REMAIN ON ALL DISTURBED AREAS.
 2. EXISTING TOPSOIL TO BE REPLACED TO A MINIMUM DEPTH OF 6" CHISEL GREEN (H) AND A MINIMUM DEPTH OF 4" CHISEL GREEN (H) AND A MINIMUM DEPTH OF 2" CHISEL GREEN (H) WHERE NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 2 INCHES.
 4. TOPSOIL IS DEFINED AS FERTILE, FRANKLE LOAM, CAPABLE OF SUPPORTING A GRASS COVER, NOT IN PROXIMITY TO UNDESIRABLE FIRE FROM A COOKING, NOT IN PROXIMITY TO UNDESIRABLE WASTE, STORES LARGER THAN 24 INCH IN DIAMETER, AND FOREIGN OBJECTS AND MATERIALS IN EXCESS OF 10% BY WEIGHT.

- GRADING NOTES:**
1. ALL FINISH ELEVATIONS SHALL BE 4' HIGHER TO VERTICALLY FLATTER, UNLESS OTHERWISE NOTED ON PLAN.
 2. SLOPING SHALL NOT OCCUR UNTIL OWNER HAS REVIEWED AND ACCEPTED FINAL GRADING.
 3. FINISH ELEVATIONS SHALL BE A MINIMUM 4' BELOW FINISHED BUILDING GRADE.
 4. FINISH ELEVATIONS SHALL BE A MINIMUM 1' ABOVE FINISHED WASTEWATER TREATMENT PLANT.



GRAPHIC SCALE
0 10 20 40
GRADING DETAIL AT ADA
PARKING STALLS

- GRADING LEGEND:**
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - FINISHED GROUND ELEVATION
 - TOP OF CURB ELEVATION
 - GUTTER ELEVATION
 - TOP OF WALL ELEVATION
 - BOTTOM OF WALL ELEVATION
 - TOP OF FINISH GRADE
 - TOP OF STAR ELEVATION
 - BOTTOM OF STAR ELEVATION
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.
- GRAPHIC SCALE
0 10 20 40

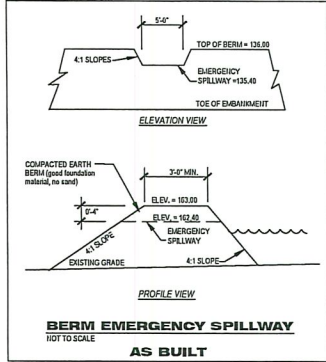
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GRADING PLAN
 2145 E ARMY POST RD., DES MOINES
 GLAD TIDINGS ASSEMBLY OF GOD CHURCH

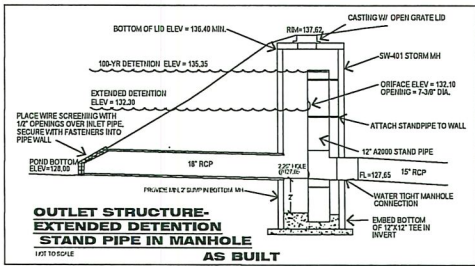
REFERENCE NUMBER:	12030P
DRAWN BY:	CEJ
CHECKED BY:	CEJ
DATE:	10-20-21
PROJECT NAME:	2145 E ARMY POST RD., DES MOINES
PROJECT NUMBER:	200526
PHASE NUMBER:	C3.1

UTILITY NOTES:

- CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PLANS AND VERIFY THAT THE SLOPE/LENGTH OF PIPE CALCULATIONS MATCH WITH PIPE ELEVATIONS AT STRUCTURES. IF ANY DISCREPANCIES ARE FOUND, CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE PLACING ANY PIPE. IF NOT CHECKED BEFORE INSTALLATION, THE REMOVAL AND REINSTALLATION OF INCORRECTLY PLACED PIPE SHALL BE AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY PIPE MATERIAL TYPE WITH CITY PLUMBING INSPECTION BEFORE INSTALLATION.
- COSTS FOR CHECKING GRADES AND ELEVATIONS OF INCORRECTLY INSTALLED PIPE OR STRUCTURES SHALL BE PAID BY THE CONTRACTOR.
- ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
- FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
- PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
- STORM SEWER CALLED OUT AS 14-12 MAY BE EITHER 14-12 OR CLASS III RCP.
- FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR 11-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
- TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE SHOWN TO ACTUAL SIDE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.



BERM EMERGENCY SPILLWAY
NOT TO SCALE
AS BUILT



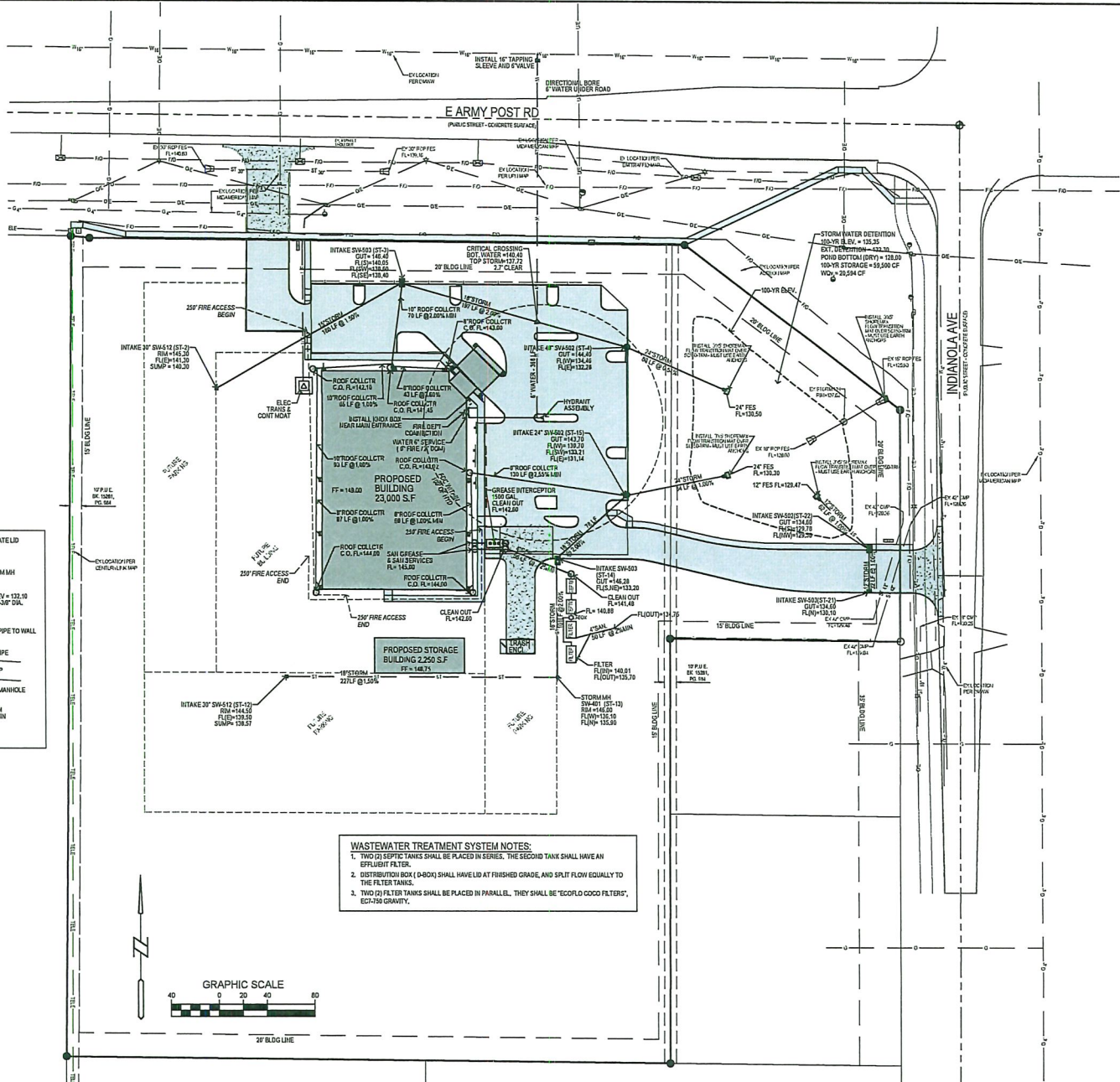
OUTLET STRUCTURE-EXTENDED DETENTION STAND PIPE IN MANHOLE
1/8\"/>

CITY CODE SECTION 106-136(h) LAND OWNER /MANAGER STORMWATER FACILITIES MAINTENANCE REQUIREMENTS:

- THE STORMWATER MANAGEMENT FACILITIES, INCLUDING PIPES, INLETS AND OUTLETS, SHALL BE ANNUALLY INSPECTED AND MAINTAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN.
- LITTER, SLT, SEDIMENT AND DEBRIS SHALL BE PROMPTLY REMOVED FROM SUCH FACILITIES.
- THE PLANTINGS AND VEGETATION WITHIN THE STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN. IF ANY VEGETATION DIES, IT SHALL BE REPLACED WITH VEGETATION IN CONFORMANCE WITH THE PLAN AS SOON AS THE WEATHER PERMITS.
- NO GRASS CLIPPINGS, LEAVES OR OTHER YARD WASTES, SOIL, ROCKS, CONCRETE, OR SIMILAR MATERIALS, SHALL BE PLACED WITHIN A SHALE, OR RETENTION OR DETENTION POND WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.
- NO PORTION OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE ALTERED OR REMOVED WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.
- RECORDS OF INSPECTION, MAINTENANCE AND REPAIR MUST BE MAINTAINED AND KEPT FOR AT LEAST FIVE YEARS AND MADE AVAILABLE UPON REQUEST TO THE CITY ENGINEER.

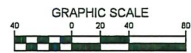
DETENTION BASIN DATA:

100 YR STORAGE ELEVATION (FUTURE)	= 135.35
BASEN BOTTOM ELEVATION	= 128.00
100 YR DETENTION VOLUME (FUTURE)	= 59,500 CF
WATER QUALITY ELEVATION	= 132.30
WATER QUALITY VOLUME (FUTURE)	= 26,594 CF



WASTEWATER TREATMENT SYSTEM NOTES:

- TWO (2) EFFLUENT TANKS SHALL BE PLACED IN SERIES. THE SECOND TANK SHALL HAVE AN EFFLUENT FILTER.
- DISTRIBUTION BOX (D-BOX) SHALL HAVE LID AT FINISHED GRADE, AND SPLIT FLOW EQUALLY TO THE FILTER TANKS.
- TWO (2) FILTER TANKS SHALL BE PLACED IN PARALLEL. THEY SHALL BE "E-CO-D COCO FILTERS", ECT-750 GRAVITY.



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GLAD TIDINGS ASSEMBLY OF GOD CHURCH
2145 E ARMY POST RD, DES MOINES
UTILITY PLAN

REFERENCE NUMBER:
120349

DRAWN BY:
CEJ

CHECKED BY:

REVISION DATE:
3-31-21 CITY
10-20-21 2nd CITY

PROJECT NUMBER:
200526

SHEET NUMBER:
C4.1

PRELIMINARY - NOT FOR CONSTRUCTION

LANDSCAPE NOTES:

- ALL SEEDING AND LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.3).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.
- CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC ROW AT 240-4055.
- ALL WIRE, TYING AND BURIAL SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
- NO STAKING OF TREES ALLOWED.

TREE MITIGATION:

TOTAL AREA OF CANOPY: 122,291 SF
 TOTAL AREA REMOVED FOR SITE WORK: 101,249 SF
 TOTAL AREA REMOVED FOR DETENTION: 21,432 SF
 AREA OF TREES COUNTED FOR MITIGATION: 73,881 SF
 REPLACEMENT TREES AT 1 TREE PER 2000 SF REMOVED = 37 TREES

LEGEND

SEED SLOPE/ETCHING: TO BE SUBAS TYPE 240 FOR SLOPE/ETCH, SUPPLIED BY UNITED SEEDS OR APPROVED EQUAL. INSTALL WITH MECHANICAL DRILL AT RATE OF 30 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE. HYDRO MULCH AS NOTED BELOW.

SITE SEEDING

SEED: MAX TO BE "SUPER TURF" BY UNITED SEEDS (OR APPROVED EQUAL) SEED AT RATE OF 400 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE. OVERSEEDING (IF REQUIRED) TO BE INSTALLED AT 200 LBS PER ACRE.

HYDRO MULCH: HYDRO MULCH ALL SEEDED AREAS. WOOD CELLULOSE HYDRAULIC MULCH WITH TACKIFIER SHALL BE APPLIED AT A RATE OF 2.00 LBS PER ACRE.

FERTILIZER: FERTILIZE ALL SEED TYPE AREAS WITH PRODUCT SPECIFIED ABOVE AT RATE OF 250 LBS/ACRE.

ESTABLISHMENT: SATISFACTORY SEEDING: END OF MAINTENANCE PERIOD. A HEALTHY, UNIFORM, CLOSE STAND OF GRASS HAS BEEN ESTABLISHED. FREE OF WEEDS AND SURFACE IRREGULARITIES, WITH COVERAGE EXCEEDING 90 PERCENT OVER ANY 10 SQ. FT. (R20 SQ. M) AND BARE SPOTS NOT EXCEEDING 5 IN 5 INCHES.

REESTABLISH LAWNS THAT DO NOT COMPLY WITH REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.

GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF SITE: 400,135 SF
 SITE TREES: 15% OF SITE = 60,020 SF. COVERAGE REQUIRED
 TREES: SHADY/OVERSTORY PROVIDED COVERAGE: 62 EA @ 1000 SF = 62,000 SF
 61 EA @ 1000 SF = 61,000 SF

STREET TREES (TREES @ 30' SPACING) ADJACENT TO E. ARMY POST RD. = 69 LF TREES: 69 LF @ 100' ADJACENT TO INDIANOLA AVE. = 33 LF TREES: 23' @ 100'

FRONTAGE BUFFER - WITH FENCE (SHADE TREES @ 4' SPACING = SHRUBS/GRASSES @ 3' SPACING) ADJACENT TO E. ARMY POST RD. = 144 LF TREES: 24 X 140' SHRUBS/GRASSES: 24 X 140'

SEMI LINEAR BUFFER/PAVED TREES (LIGHT BUFFER) SHADE TREES @ 1 PER 40 LF & SHRUBS @ 1 PER 3 LF. Sid = Use Screen Fence in place of Trees / Rear = 100' 150 LF X 10'

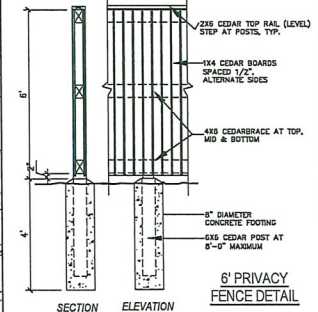
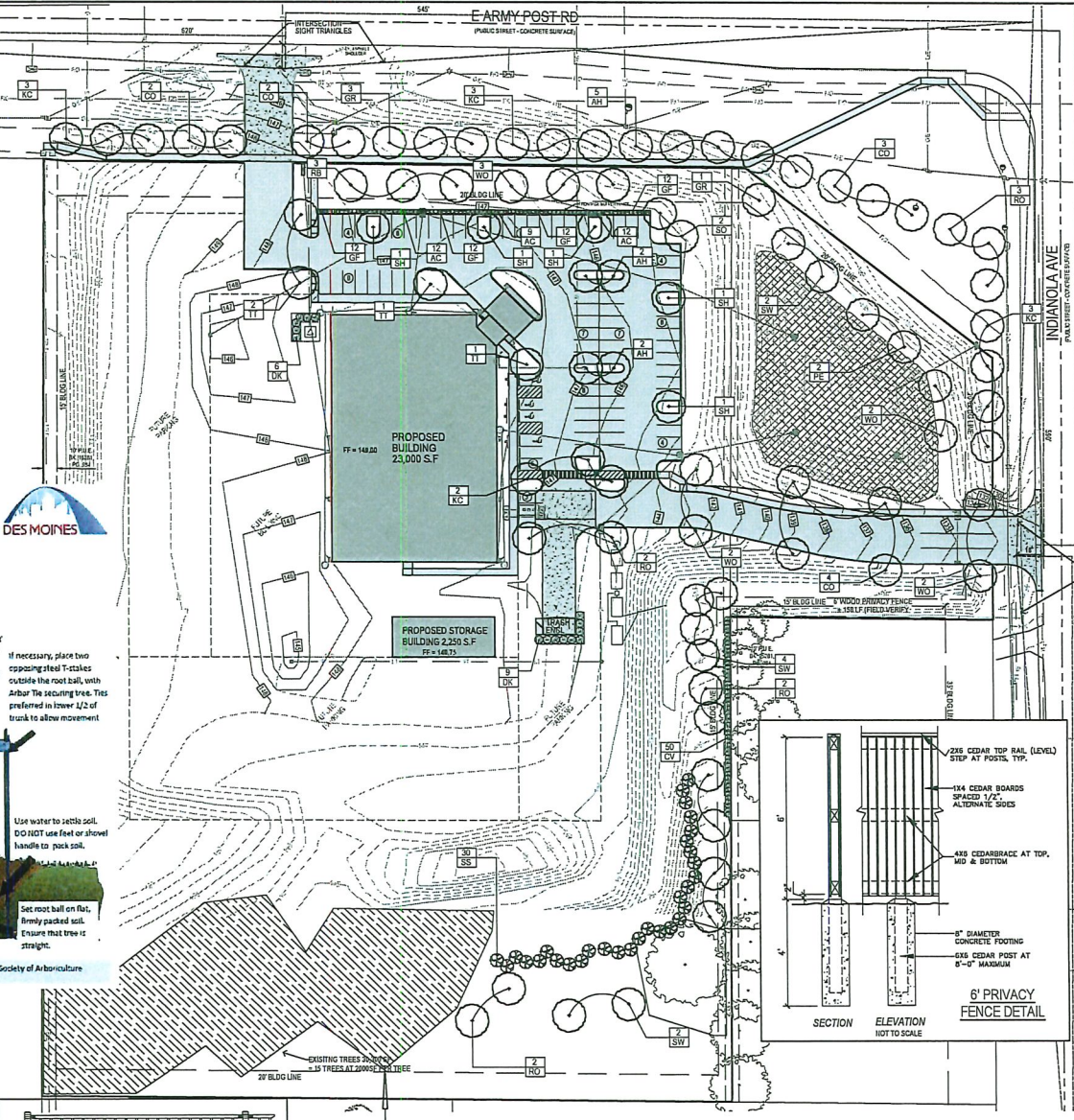
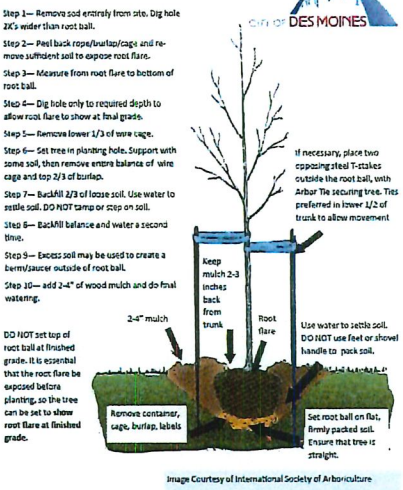
INTERIOR PARKING LOT TREES (SHADE TREES @ 1 PER ISLAND TERMINAL ENDS = ROW ISLAND (EVERY 9TH SPACE) = 10 = 8 = 20 ISLANDS

5' SPACE RULE: 87 STALLS PROVIDED, 87 STALLS WITHIN 50' OF A TREE. 5' SPACE RULE (MORE THAN 40 STALLS): 1 TREE EVERY 5 SPACES 86 STALLS X 3 TREES / 3 SPACES = 18 TREES AROUND PARKING

SHADE 20% LOT. PARKING BUFFER OF 31.80 SF @ 3.25% = 8.23 COVERAGE PROVIDED = 6 TREES @ 1000 SF = 6,000 SF 6 TREES @ 500 SF = 3,000 SF 3 TREES @ 200 SF = 7,000 SF. TOTAL 11,000 SF COVERAGE

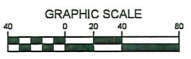
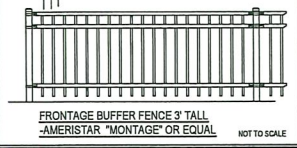
NET AMOUNT PROPOSED FOR SITE: 81 TREES 170 SHRUBS/GRASSES

DIAGRAM: PROPER TREE PLANTING



PLANT SCHEDULE

CODE	QTY	COMMON NAME	LATIN NAME	TREE	SIZE	ROOT	NOTES
10	4	COMMON HICKORY	CELRUS OCCIDENTALE	TREE	2" CAL	BAR	MAX CHD SPECIMENS
11	1	KENTUCKY COFFEE TREE	STYFAGIUM COCCINEUM	TREE	2" CAL	BAR	MAX CHD SPECIMENS
12	4	BRINDLEBERRY	NYCTAGINUS LINDLEYI	TREE	2" CAL	BAR	MAX CHD SPECIMENS
13	2	AMERICAN HORNSHOEN	OSYRA VIRGINICA	TREE	2" CAL	BAR	MAX CHD SPECIMENS
14	3	RAVENS HAWK	RETELA ANDRA	TREE	2" CAL	BAR	MAX CHD SPECIMENS (SINGLE TRUNK)
15	3	SATIN LEaved NORTHERN	QUERUS TRUNCATA	TREE	2" CAL	BAR	MAX CHD SPECIMENS
16	2	SWAMP WHITE OAK	QUERUS PRINCEPI	TREE	2" CAL	BAR	MAX CHD SPECIMENS
17	2	RED OAK	QUERUS RUBRA	TREE	2" CAL	BAR	MAX CHD SPECIMENS
18	2	WHITE OAK	QUERUS ALBA	TREE	2" CAL	BAR	MAX CHD SPECIMENS
19	2	SHARP SHIN OAK	QUERUS ELLIPSOIDEA	TREE	2" CAL	BAR	MAX CHD SPECIMENS
20	2	SPRING OAK	QUERUS BICOLOR	TREE	2" CAL	BAR	MAX CHD SPECIMENS
21	2	POKER FLAT	QUERUS LAEVIS	TREE	2" CAL	BAR	MAX CHD SPECIMENS
22	4	TULIP TREE	LINDLEYA TOURNEFORTII	TREE	2" CAL	BAR	MAX CHD SPECIMENS
SHRUBS							
23	33	ALFalfa CLOVER	MEGACALYPSA	SHRUB	4S	CONT	FULL FORM - MATCHED
24	30	CONTACT VIBURNUM	VIBURNUM TRILOBUM COMPACTUM	SHRUB	4S	CONT	FULL FORM - MATCHED
25	30	ROD DODGE SPYR	SPYRUS XILIDIFOLIUS	SHRUB	4S	CONT	FULL FORM - MATCHED
26	30	RED TWIG DOGWOOD	DOGWOOD	SHRUB	4S	CONT	FULL FORM - MATCHED
27	9	DOGWOOD	DOGWOOD	SHRUB	4S	CONT	FULL FORM - MATCHED



I HEREBY CERTIFY THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA. IOWA REGISTRATION NO. 449.
 BY: MICHAEL D. GAUNT LICENSE RENEWAL DATE: JUNE 30, 2022

SIGNED: _____ DATE: _____



Bishop Engineering
 "Pursuing Your Successful Development"
 3501 104th Street, Des Moines, Iowa 50325-2027
 Phone: 515-282-2027
 Civil Engineering & Land Surveying. Established 1959

GLAD TIDINGS ASSEMBLY OF GOD CHURCH
 2145 E ARMY POST RD., DES MOINES
LANDSCAPE PLAN

REFERENCE NUMBER: 120349

DRAWN BY: CEJ
 CHECKED BY:

REVISION DATE: 3-31-21 CITY 10:20:21 2nd CITY

PROJECT NUMBER: 200526

DESK NUMBER:

C5.1

PRELIMINARY- NOT FOR CONSTRUCTION

10/20/2021 11:24:31 AM LAND PROJECT 33002002000000000000 LANDSCAPE.DWG



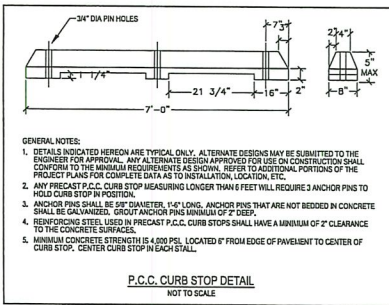
TREE MITIGATION NOTES:

122,291 SF	TOTAL AREA OF CHANGE
181,248 SF	TOTAL AREA OF CHANGE REMOVED FOR SITEWORK
27,439 SF	TOTAL AREA REMOVED FOR RETENTION
72,901 SF	AREA OF TREES COUNTED FOR MITIGATION
37 TREES	REPLACEMENT TREES AT 1 TREE PER 2000 SF REMOVED *
30,200 SF	TREE AREA UNDISTURBED:
15 TREES	EXISTING REMAINING TREES:
	EXISTING TREES AT 1 TREE PER 2000 SF *

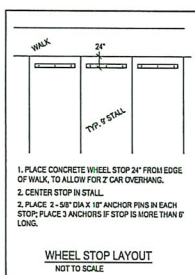


PROJECT NUMBER 200526	DATE 10-20-21 2ND CITY	PROJECT NUMBER 120049	<p>GLAD TIDINGS ASSEMBLY OF GOD CHURCH 2145 E ARMY POST RD, DES MOINES</p> <p>LANDSCAPE PLAN</p>	<p>Bishop Engineering "Planning Your Successful Development" Des Moines, Iowa 50323-2632 Phone: 515-279-0409 Fax: 515-279-0407 Civil Engineering & Land Surveying Established 1939</p>
SHEET NUMBER C5.2	ISSUANCE DATE 3-11-21 CITY	DRAWING NUMBER 120049		

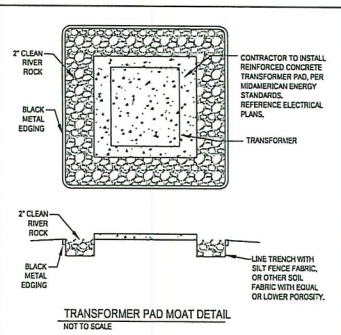
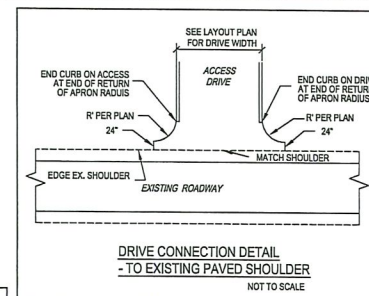
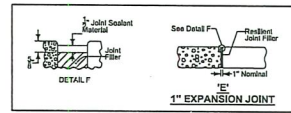
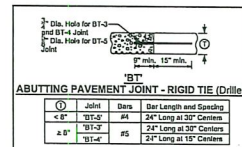
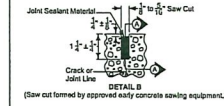
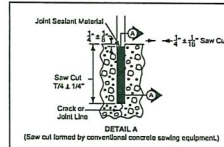
ANIMAL PROJECT REVIEWED/INTEGRATED DETAILS/ 27/06/2018 3:08 PM CST



- GENERAL NOTES:**
1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
 2. ANY PRECAST P.C.C. CURB STOP MEASURING LONGER THAN 6 FEET WILL REQUIRE 3 ANCHOR PINS TO HOLD CURB STOP IN POSITION.
 3. ANCHOR PINS SHALL BE 5/8" DIAMETER, 14" LONG, ANCHOR PINS THAT ARE NOT BEDDED IN CONCRETE SHALL BE GALVANIZED. GREAT ANCHOR PINS MINIMUM OF 2" DEEP.
 4. REINFORCING STEEL USED IN PRECAST P.C.C. CURB STOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.
 5. MINIMUM CONCRETE STRENGTH IS 4,000 P.S.I. LOCATED 8" FROM EDGE OF PAVEMENT TO CENTER OF CURB STOP. CENTER CURB STOP IN EACH STALL.

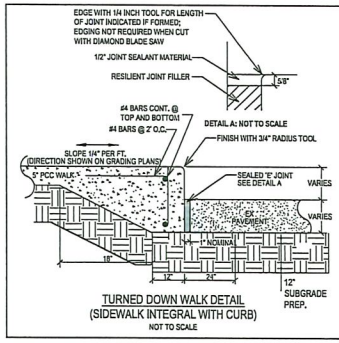
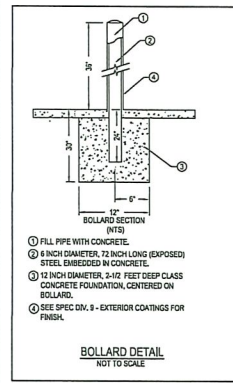
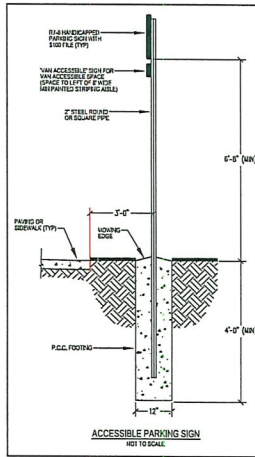
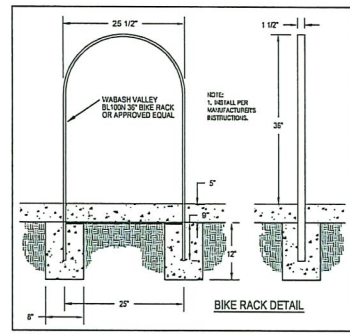
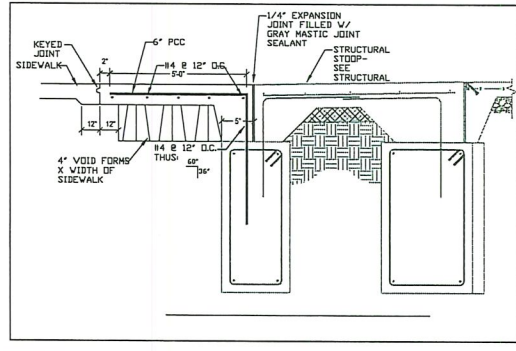
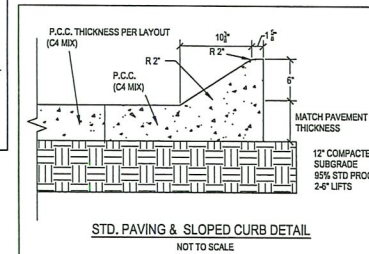
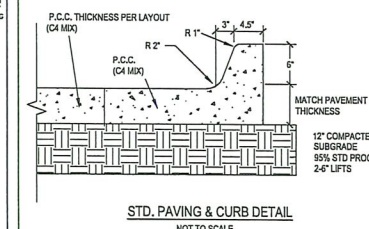
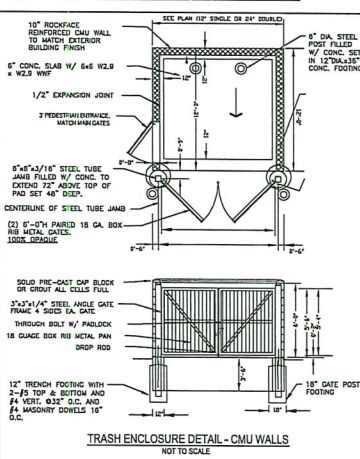
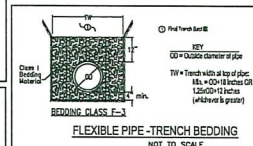
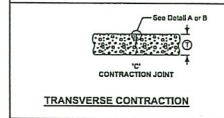
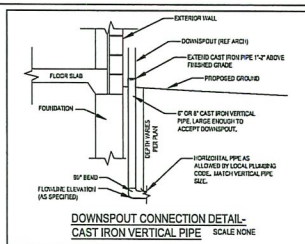
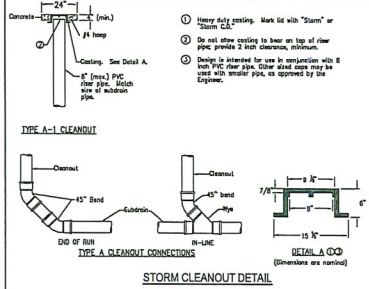


1. PLACE CONCRETE WHEEL STOP 24" FROM EDGE OF WALK, TO ALLOW FOR 2" CAR OVERHANG.
2. CENTER STOP IN STALL.
3. PLACE 2-5/8" DIA X 14" ANCHOR PINS IN EACH STOP; PLACE 3 ANCHORS IF STOP IS MORE THAN 6' LONG.



CONTRACTOR TO INSTALL REINFORCED CONCRETE TRANSFORMER PAD, PER MID-AMERICAN ENERGY STANDARDS. REFERENCE ELECTRICAL PLANS.

LINE TRENCH WITH SILT FENCE FABRIC, OR OTHER SOIL FABRIC WITH EQUAL OR LOWER POROSITY.



PRELIMINARY- NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN

EROSION CONTROL NOTES:

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVED/INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AND/AND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

EROSION CONTROL REMOVAL NOTES:

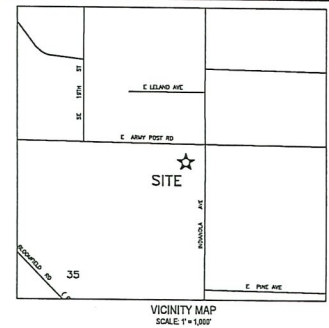
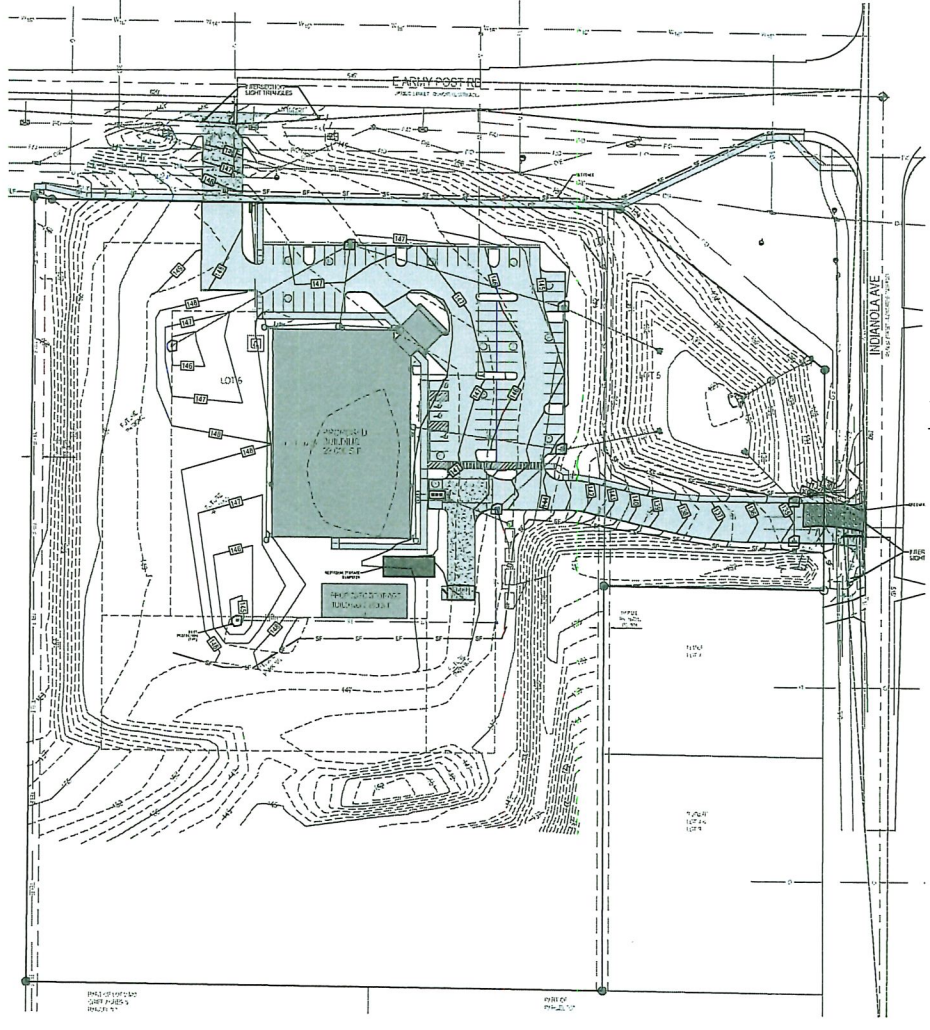
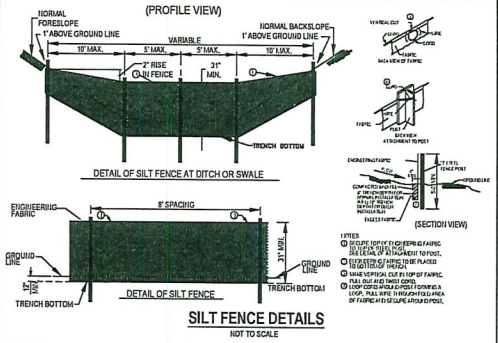
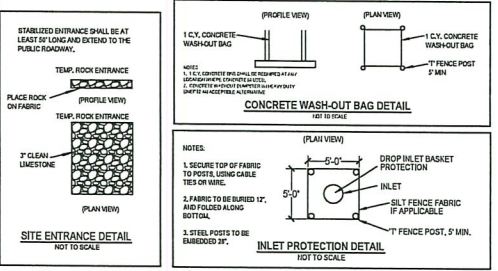
- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STABILIZERS.

BENCHMARK:

DA18M0228: A CUT TRIANGLE AT NORTH END OF HEADWALL LOCATED AT THE SW CORNER OF E. ARMY POST ROAD AND INDIANOLA AVENUE
ELEV=170.229 (CITY OF DES MOINES DATUM)

DA18M0215: A TRIANGLE CUT IN SW CORNER TRAFFIC SIGNAL POLE BASE LOCATED AT THE NE CORNER E. ARMY POST ROAD AND INDIANOLA AVENUE
ELEV=170.216 (CITY OF DES MOINES DATUM)

SITE TBM: ARROW ON FIRE HYDRANT LOCATED 160 FEET NORTH OF THE NW CORNER LOT 5 MAGOFF ACRES
ELEV=44.94 (CITY OF DES MOINES DATUM)



LEGAL DESCRIPTION:
WARRANTY DEED BOOK 14629 PAGE 404
LOTS 5 AND 6 MAGOFF ACRES, AN OFFICIAL PLAT,
NOW INCLUDED IN AND FORMING A PART OF THE CITY
OF DES MOINES, POLK COUNTY, IOWA, EXCEPT FOR
EASEMENTS AND COVENANTS OF RECORD.

ADDRESS:
2145 E ARMY POST ROAD
DES MOINES, IOWA

LEGEND:

- 120- EXISTING CONTOUR
- 120- PROPOSED CONTOUR
- SF- SILT FENCE
- SS- SANITARY SEWER
- ST- STORM SEWER
- W- WATER LINE
- G- GAS LINE
- UE- UNDERGROUND ELECTRIC
- OE- OVERHEAD ELECTRIC
- TELE- TELEPHONE LINE
- FO- FIBER OPTIC
- CATV- CABLE TV
- STORM MANHOLE
- CURB INTAKE
- SURFACE INTAKE
- FLARED END SECTION
- SANITARY MANHOLE
- CLEANOUT
- FIRE HYDRANT
- SPRINKLER
- IRRIGATION CONTROL VALVE
- WATER MANHOLE
- WELL
- WATER VALVE
- WATER SHUT OFF
- YARD HYDRANT
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC RISER
- ELECTRIC VAULT
- POWER POLE
- TRANSFORMER POLE
- LIGHT POLE
- ELECTRIC JUNCTION BOX
- ELECTRIC PANEL
- TRANSFORMER
- GROUND LIGHT
- GUY WIRE
- ELECTRIC MANHOLE
- GAS METER
- GAS VALVE
- AIR CONDITIONING UNIT
- TELEPHONE RISER
- TELEPHONE VAULT
- TELEPHONE MANHOLE
- TRAFFIC SIGNAL MANHOLE
- FIBER OPTIC RISER
- FIBER OPTIC FAULT
- CABLE TV RISER
- SIGN

OWNER / APPLICANT:
GLAD TIDINGS ASSEMBLY OF GOD
314 E ARMY POST ROAD
DES MOINES, IOWA 50315-5825
PASTOR BILL WENIG
PH: (515)285-2056

SITE AREA:
9.18 ACRES

DISTURBED AREA:
+3.8 ACRES



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



Bishop Engineering
"Training Your Successful Development"
3501 104th Street
Des Moines, Iowa 50325-2825
Phone: (515)282-6607 Fax: (515)282-6617
Civil Engineering & Land Surveying
Established 1959

GLAD TIDINGS ASSEMBLY OF GOD CHURCH
2145 E ARMY POST RD, DES MOINES

REFERENCE NUMBER:
120349

DRAWN BY:
CEI

CHECKED BY:

REVISION DATE:
3-31-21 CITY
10-20-21 2nd CITY

PROJECT NUMBER:
200526

SHEET NUMBER:
C7.1

RAINS | ARCHITECTURE

JEFF RAINS jeff@rainsarch.com 515-314-8696

20 December 2021

Jason Van Essen, AICP, Planning & Urban Design Administrator
City of Des Moines, Development Services
602 Robert D. Ray Drive, Des Moines, Iowa 50309
515-283-4147
JMVanessen@dmgov.org

RE: SITE-2021-000020 - 10-21-7.153 Glad Tiding Assembly of God Church - 2145 E Army Post

Jason,

This letter is to officially notify Staff and City Council that my client wishes to appeal the decision of the Planning & Zoning Commission on November 18, 2021 against the Type 2 Design Alternative regarding parking along East Army Post Road. We request this appeal based on the following factors:

1. We believe that, due to the nature of the site, the impact of the parking on the Army Post side is negligible. In this case, parking, and even the front of the building, will be partially screened by topography and landscaping. It will be less visible due to setbacks as well. Even without the parking we will need to have a drive through there so it would be more efficient and of minimal impact to have some parking.
2. It is in keeping with the neighborhood on a long-term basis- Caseys to the north with parking and gas island in front, cemetery to the east will never be developed, property to the northeast will also have large setbacks and storm water drainage or detention.
3. While within Des Moines city limits, this neighborhood is vehicle-oriented in nature and in practice. This is apparent in the makeup of the surrounding properties, but also in the design of the roadway and intersection, with multiple lanes and turn lanes. Also, very few people will be able or willing to walk to this site and churches like this draw from a large area.
4. We had already agreed to reduce the parking on this side of the property. What is shown is less than half of what is desired.
5. The church wants to 'face' the intersection and the community with their front door in order to be inviting and an anchor for the community. Parking near the main entrance is expected by many church-goers, especially the elderly. Parking in the rear for this type of facility creates confusion and frustration for many people.
6. Providing entrances on both the street side and in the rear creates a security problem and extra ongoing expense to the church to monitor and manage that.
7. The church needs to be able to add on to their building in the future. It is wasteful to build a parking lot, only to remove it later for an addition and have to build a new parking lot again. If we try to leave room for it we will be guessing as to the size of the addition and still risk having to remove part of it, but more importantly we also alienate people by making them park much farther from the building than necessary.
8. We would be willing to consider adding a berm between the parking and the street if that helps the discussion.

Let us know when we can get on the agenda for City Council. Thank you.

Sincerely,



Jeff Rains
Architect/Owner