



Date October 4, 2021

RESOLUTION HOLDING HEARING ON REQUEST FROM EASTGATE PLAZA, LLC AND NET LEASE DEVELOPMENT, LLC FOR THE 6TH AMENDMENT TO THE EASTGATE PLAZA PUD CONCEPTUAL PLAN FOR PROPERTY LOCATED IN THE VICINITY OF 1500 EAST EUCLID AVENUE

WHEREAS, on September 13, 2021, by Roll Call No. 21-1408, the City Council received a communication from the City Plan and Zoning Commission advising that at a public hearing held on September 2, 2021, its members voted 10-0 in support of a motion to recommend **APPROVAL** of a request from Eastgate Plaza, LLC (owner), represented by Norman Weinstein (officer), and from Net Lease Development, LLC (purchaser), represented by Mark Huonder (officer), for the 6th Amendment to the Eastgate Plaza Planned Unit Development (PUD) Conceptual Plan for property located in the vicinity of 1500 East Euclid Avenue (“Property”), to allow a 2.09-acre portion of the Property along East Euclid Avenue frontage to be developed with a 2,977 square-foot fast-food drive-through restaurant and a 6,972 square-foot multiple-tenant commercial building, subject to the following modifications:

- 1) Provision of a note that states that the easterly north/south driveway (to the east of the proposed multiple-tenant commercial building) shall be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.
- 2) Provision of a note that states the multiple-tenant commercial building and surrounding site configuration shall be subject to a future amendment to the “PUD” Conceptual Plan.
- 3) Provision of a note that states any building shall not be located within any necessary utility easement.
- 4) Provision of a note that states that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.
- 5) Provision of a note that states that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.
- 6) Provision of a note that states that landscaping shall be provided in accordance with Chapter 135, Planning and Design Ordinance.
- 7) Provision of a note that states that continuous row of shrubs or grasses shall be provided along the west side of the drive-through facility.
- 8) Provision of a note that states that a 3-foot tall decorative wrought iron fence, supported by brick columns that match the primary structure, shall be constructed along the south frontage and that perimeter plantings required by the landscape standards shall be provided between the fence and the southerly property line.



Date October 4, 2021

- 9) Provision of a note that states that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a “Major Façade Material” prohibiting EIFS materials, as regulated in Des Moines Municipal Code Chapter 135.
- 10) Provision of a note that states that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.
- 11) Provision of a note that states that all mechanical equipment, roof top units, condensers, meters, transformers or other such equipment shall be provided, including the undergrounding of all overhead utilities whenever reasonably practicable, in accordance with Chapter 135, Planning and Design Code.
- 12) Provision of a note that states that all site and building mounted lighting shall be provided in accordance with Chapter 135, Planning and Design Code.
- 13) Provision of a note that states that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.
- 14) Any freestanding signage shall be a monument sign having a minimum 2-foot tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited; and

WHEREAS, the Property is legally described as follows:

A tract of land lying in part of Lot 13 of Brown’s Lowland Place, City of Des Moines, Polk County, Iowa, beginning at a found mag nail at the southeast corner of parcel D recorded in Book 15975, Page 592; thence along the east line of said parcel D N00°-11'-10"E 259.14 ft. to a set iron rod; thence leaving said east line S89°-46'-58"E 353.19 ft. to a set iron rod; thence S00°-07'-49"W 257.15 ft. to set iron rod on the north right of way line of East Euclid Avenue; thence along said north line S89°-53'-38"W 353.45 ft. to the point of beginning. Containing 2.09 acres; and

WHEREAS, on September 13, 2021, by Roll Call No. 21-1408, it was duly resolved by the City Council that the request to approve a 6th Amendment to the Eastgate Plaza PUD Conceptual Plan be set down for hearing on October 4, 2021 at 5:00 P.M., in the Council Chambers; and

WHEREAS, due notice of said hearing was published in the Des Moines Register, as provided by law, setting forth the time and place for hearing on said proposed Legacy PUD Conceptual Plan amendment; and

WHEREAS, in accordance with said notice, those interested in said proposed Legacy PUD Conceptual Plan amendment both for and against, have been given opportunity to be heard with respect thereto and have presented their views to the City Council.

Date October 4, 2021

NOW THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. Upon due consideration of the facts, and any and all statements of interested persons and arguments of counsel, any objections to the proposed 6th Amendment to the Eastgate Plaza Planned Unit Development (PUD) Conceptual Plan are hereby overruled, and the hearing is closed.
2. The proposed 6th Amendment to the Eastgate Plaza Planned Unit Development (PUD) Conceptual Plan, as on file in the Development Services Department, is hereby found to be in conformance with PlanDSM: Creating Our Tomorrow Plan and is hereby approved.

MOVED BY _____ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank
 Glenna K. Frank, Assistant City Attorney

(ZON2021-000013)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED APPROVED

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

 Mayor

 City Clerk

Date 10-4-21
 Agenda Item 49
 Roll Call # _____

September 3, 2021

Communication from the City Plan and Zoning Commission advising that at their September 2, 2021 meeting, the following action was taken regarding a request from Eastgate Plaza, LLC (owner), represented by Norman Weinstein (officer) and Net Lease Development, LLC (purchaser), represented by Mark Huonder (officer), for review and approval of a 6th amendment to the Eastgate Plaza PUD Conceptual Plan on property located in the vicinity of 1500 East Euclid Avenue, to allow development of a 2.09-acre parcel with a restaurant building with a drive-up window and a multiple-tenant commercial building.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 10-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles				X
Abby Chungath	X			
Kayla Berkson	X			
Chris Draper	X			
Jann Freed	X			
Todd Garner	X			
Johnny Alcivar	X			
Lisa Howard				X
Carolyn Jenison	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace				X
Greg Wattier				X
Emily Webb	X			

APPROVAL of the proposed amendment to the Eastgate Plaza “PUD” Conceptual Plan, subject to the following modifications:

- 1) Provision of a note that states that the easterly north/south driveway (to the east of the proposed multiple-tenant commercial building) shall be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.

- 2) Provision of a note that states the multiple-tenant commercial building and surrounding site configuration shall be subject to a future amendment to the "PUD" Conceptual Plan.
- 3) Provision of a note that states any building shall not be located within any necessary utility easement.
- 4) Provision of a note that states that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.
- 5) Provision of a note that states that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.
- 6) Provision of a note that states that landscaping shall be provided in accordance with Chapter 135: Planning and Design Ordinance.
- 7) Provision of a note that states that continuous row of shrubs or grasses shall be provided along the west side of the drive-through facility.
- 8) Provision of a note that states that a 3-foot tall decorative wrought iron fence, supported by brick columns that match the primary structure, shall be constructed along the south frontage and that perimeter plantings required by the landscape standards shall be provided between the fence and the southerly property line.
- 9) Provision of a note that states that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a "Major Façade Material" prohibiting EIFS materials, as regulated in City Code Chapter 135.
- 10) Provision of a note that states that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.
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- 12) Provision of a note that states that all site and building mounted lighting shall be provided in accordance with Chapter 135: Planning and Design Code.
- 13) Provision of a note that states that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.
- 14) Any freestanding signage shall be a monument sign having a minimum 2-foot tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited. (ZONG-2021-000013)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed amendment to the Eastgate Plaza "PUD" Conceptual Plan, subject to the following modifications:

- 1) Provision of a note that states that the easterly north/south driveway (to the east of the proposed multiple-tenant commercial building) shall be constructed to appear to be street to the satisfaction of the City's Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.
- 2) Provision of a note that states the multiple-tenant commercial building and surrounding site configuration shall be subject to a future amendment to the "PUD" Conceptual Plan.
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- 14) Any freestanding signage shall be a monument sign having a minimum 2-foot tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed amendment to the Eastgate “PUD” Conceptual Plan would allow a 2.09-acre portion of the “PUD” along East Euclid Avenue frontage to be developed with a 2,977-square foot fast food restaurant with a drive-through and a 6,972-square-foot multiple-tenant commercial building. The proposed “PUD” Conceptual Plan demonstrates that the fast-food restaurant would be located on the western portion of the 2.09-acre area (adjacent to Quik Trip) and the multiple-tenant commercial building would be on the eastern portion. The site would be accessed from two driveways from East Euclid Avenue and an internal driveway from the existing convenience store to the west and office building to the east. The “PUD” Conceptual Plan also provides cross-access through the property to the north and east and west within the overall Eastgate Plaza “PUD” District.

There is a substantial undeveloped area within the Eastgate Plaza “PUD” District immediately to the north of proposed amendment. It is expected that the future redevelopment of this area will utilize the easterly north/south driveway. Therefore, Staff recommends that the easterly north/south driveway be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.

The proposed “PUD” Conceptual does not provide character elevations for the proposed multiple-tenant commercial building. Therefore, Staff recommends that a note be added to state that this building and surrounding site configuration shall be subject to a future amendment to the “PUD” Conceptual Plan. This would also for sufficient review of the building prior to construction.

Future development of the site must be in accordance with a “PUD” Development Plan that complies with the requirements established in the “PUD” Conceptual Plan and with the Review Process of Chapter 135 of the Planning and Design Code.

2. **Size of Site:** The proposed amendment is on an area that measures approximately 91,040 square feet (2.09 acres) in area.
3. **Existing Zoning (site):** “PUD” Planned Unit Development District.
4. **Existing Land Use (site):** The property includes vacant pad sites with some paved area in disrepair that previously served as off-street parking.

5. Adjacent Land Use and Zoning:

North – “PUD”; Use is vacant land (formerly the Eastgate Plaza commercial center).

South – “MX3” and “I1”; Uses are a vacant drive-through restaurant and car rental facility (Enterprise Rental Car).

East – “PUD”; Use is medical office building (CareMore).

West – “PUD”; Use is a fuel station with convenience store (Quik Trip).

6. General Neighborhood/Area Land Uses: The site is located at the northeast corner of the intersection of East Euclid Avenue and East 14th Street. Both of these streets are major commercial corridors.

7. Applicable Recognized Neighborhood(s): The subject property is within the Highland Park Neighborhood. This neighborhood association was notified of the meeting by mailing of the Preliminary Agenda to all recognized neighborhoods on August 13, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on August 13, 2021 (20 days prior) and August 23, 2021 (10 days prior to the scheduled hearing) to the Highland Park Neighborhood Association, and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Highland Park Neighborhood Association mailings was sent to Sherri Rosener, at 1206 Oak Park Ave, Des Moines, IA 50313.

The applicant is responsible for conducting a neighborhood meeting, inviting representatives of the Highland Park Neighborhood Association and surrounding property owners within 250 feet. The applicant will provide a summary of the meeting at the public hearing.

8. Relevant Zoning History: The subject property was rezoned to “PUD” on April 20, 1998, at which time a general “PUD” Conceptual Plan was adopted. On February 22, 2016, the City Council approved a “PUD” Conceptual Plan amendment for a 5,733 square foot convenience store with 16 fueling stations, and allowing the sale of alcoholic liquor, wine, beer and tobacco products insofar as sales do not cumulatively exceed 40% of overall sales derived on the site. This convenience store is currently in operation.

9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation: Community Mixed Use.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to

the City Council on conditions to be made in addition to the existing regulations so long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

The application, accompanying evidence and "PUD" Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of the City Code and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the amended "PUD" Conceptual Plan as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the Commission shall be referred to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage/Grading:** Future construction must comply with the City's storm water management, soil erosion protection and grading requirements, as approved by the City's Permit and Development Center's Engineering Staff during the "PUD" Development Plan (Site Plan) review.
2. **Utilities:** The subject property has access to necessary utilities. There are both public storm and sanitary sewer crossing the site within easements. These affect the placement of the building and require that it be shifted east of the existing storm water facilities.
3. **Traffic/Connectivity:** The site would be accessed from two (2) driveways from East Euclid Avenue and an internal driveway from the existing convenience store to the west and from the existing medical office building to the east. Both the western drive entrance and the eastern drive entrance would align with existing median cuts in East Euclid Avenue. The "PUD" Conceptual Plan also provides cross-access through the property to the north and both east and within the overall Eastgate Plaza commercial center.

Staff recommends that the easterly north/south driveway be constructed to appear to be street to the satisfaction of the City's Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.

Staff also recommends provision of a note to state that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.

4. **Off-Street Parking:** The City's standard off-street parking requirement for eating and drinking places is 1 parking space per 150 square feet of building area and for retail sales / office uses is 1 parking space per 400 square feet of building area. This would require a minimum of 20 spaces for a 2,977-square foot fast food restaurant, 19 spaces for a 2,733-square foot restaurant and 11 parking spaces for retail use within a mixed-use building for a total of 50 spaces. The submitted Conceptual Plan includes 30 spaces for fast food restaurant and 45 parking spaces for mixed-use building for a total

of 75 parking spaces.

Staff recommends that a note be added to state that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.

5. **Landscaping:** The proposed “PUD” Conceptual Plan demonstrates that landscaping and plantings are to be provided throughout the site and along the frontage.

Staff recommends that landscaping to be provided in accordance with Chapter 135: Planning and Design Ordinance and that a continuous row of shrubs or grasses be provided along the west side of the drive-through facility.

Staff also recommends provision of a 3-foot tall decorative wrought iron fence, supported by brick columns that match the primary structure, along the south frontage of the area and that perimeter plantings required by the landscape standards shall be provided between the fence and the south property lines.

6. **Urban Design:** The proposed “PUD” Conceptual Plan demonstrates that the proposed fast-food restaurant building would be constructed to blend with the current surrounding building materials. It indicates that the building would be sided with a combination of stucco system, facebrick, and fiber cement panels.

Staff recommends that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a “Major Façade Material” prohibiting EIFS materials, as regulated in City Code Chapter 135 and that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.

The proposed “PUD” Conceptual does not provide character elevations for the proposed multiple-tenant commercial building. Therefore, Staff recommends that a note be added to state that this building and surrounding site configuration shall be subject to a future amendment to the “PUD” Conceptual Plan. This would also for sufficient review of the building prior to construction.

Staff recommends provision of a note stating that all mechanical equipment, roof top units, condensers, meters, transformers or other such equipment shall be provided, including the undergrounding of all overhead utilities, in accordance with Chapter 135: Planning and Design Code.

7. **Lighting:** The proposed “PUD” Conceptual Plan demonstrates that a mixture of canopy, building-mounted, LED light bands, and pole lighting would be installed. Lighting should enhance safety and provide light levels appropriate to the visual task with minimal glare, light trespass and excess site brightness. Lighting should not be a nuisance or a hazard.

Staff recommends provision of a note stating that all lighting shall be provided in accordance with Chapter 135: Planning and Design Code.

8. **Trash enclosure:** The “PUD” Conceptual Plan indicates that the trash enclosure color shall match the building. Staff recommends provision of a note stating that any refuse

collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.

9. **Signage:** The “PUD” Conceptual Plan proposes a pole sign and numerous building mounted signage. While the proposed wall signage is appropriate, Staff recommends that any freestanding signage shall be a monument sign having a minimum 2-foot-tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited.

SUMMARY OF DISCUSSION

Bert Drost stated the applicant for item #3 has agreed to staff recommendation and could be considered under the consent agenda.

Jann Freed made a motion to move item #3 to the consent agenda.

COMMISSION ACTION:

Todd Garner made a motion for approval of the proposed amendment to the Eastgate Plaza “PUD” Conceptual Plan, subject to the following modifications:

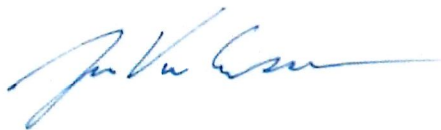
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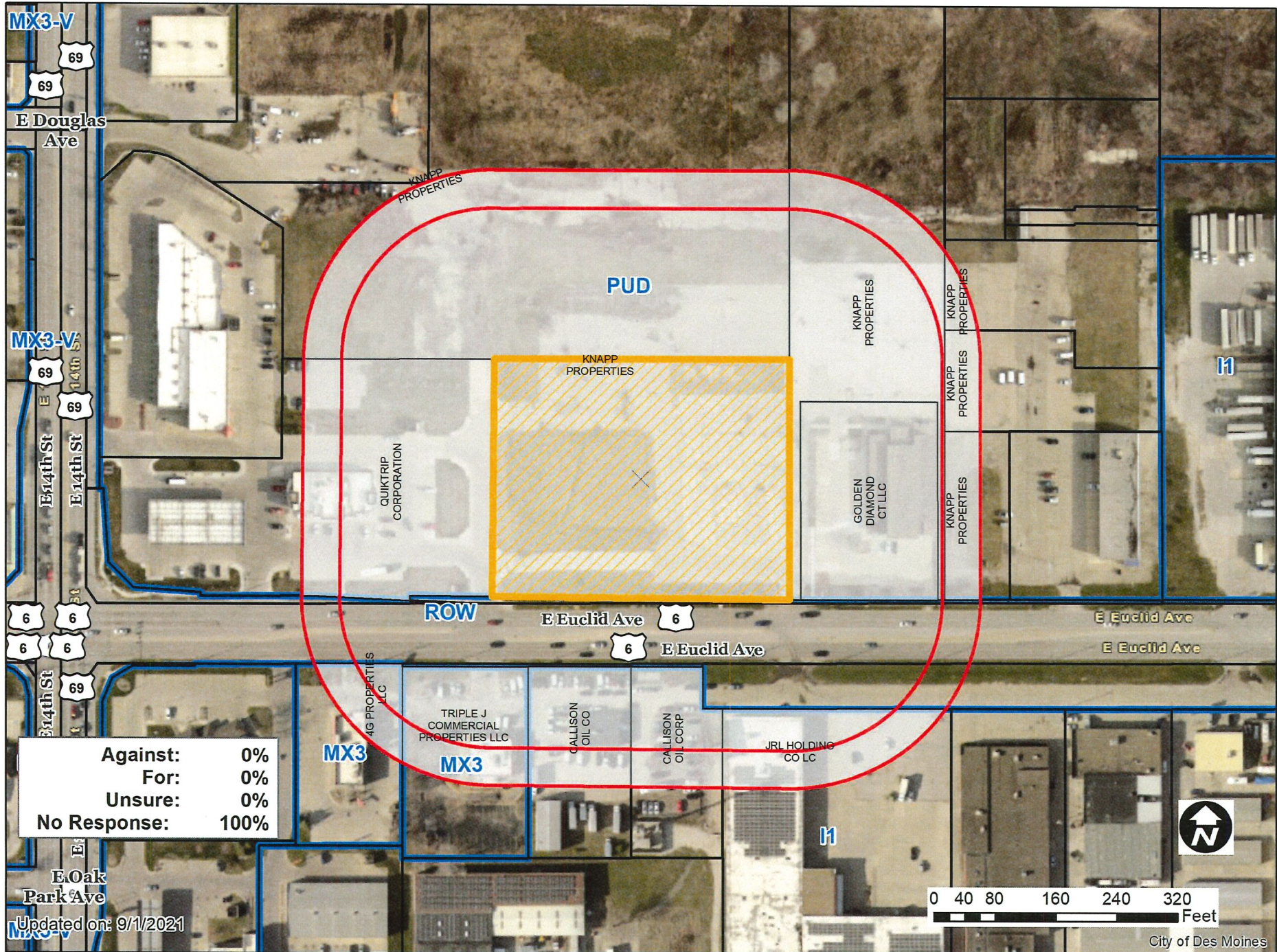
Motion passed: 10-0

Respectfully submitted,



Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh



69

49

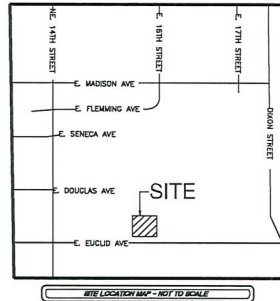
EASTGATE PUD CONCEPTUAL PLAN

1450 EAST EUCLID AVENUE

DES MOINES, POLK COUNTY, IOWA 50315



UTILITY/ GOVERNING AGENCIES CONTACTS	
GAS	MD AMERON GAS CONTACT: Craig Herfind PHONE: (515) 263-6033 EMAIL: macedon@glow.com@mdameron.com
TELEPHONE	CENTURY LINK CONTACT: Steve Hill PHONE: (515) 547-0147 EMAIL: s.hill@clm.com
ELECTRIC	MD AMERON ELECTRIC CONTACT: Craig Herfind PHONE: (515) 263-6033 EMAIL: macedon@glow.com@mdameron.com
SANITARY SEWER	CITY OF DES MOINES SEWER CONTACT: Steve Johnson PHONE: (515) 237-1308 EMAIL: sjohnson@dmj.org
WATER	DES MOINES WATER WORKS CONTACT: Ed Clark PHONE: (515) 238-8244 EMAIL: edclark@dmww.com
STORM SEWER	CITY OF DES MOINES SEWER CONTACT: Steve Johnson PHONE: (515) 237-1308 EMAIL: sjohnson@dmj.org



SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	CS-1
TOPOGRAPHIC SURVEY	TS-1
SITE PLAN	SP-1
LANDSCAPE PLAN	LP-1
COLOR BUILDING ELEVATIONS	A-2
EXTERIOR MATERIALS & FINISHES	A-2.1
BUILDING SIGNAGE ELEVATION	---
SITE SIGNAGE PLAN	CSP 2.1
PYLON SIGN DETAIL	---

DES MOINES, IOWA
 Net Lease Development LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	
2	App.
3	
4	

CAUTION-NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING THIS PROJECT SITE, THIS PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE EXISTING FACILITIES MANAGER AND BURGER KING'S CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-325-0389 for utility location information.

The contractor shall verify and implement of the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
 NOT TO BE USED FOR CONSTRUCTION

bfsiq.com TELEPHONE: (630) 239-4751

BFA
 Engineering-Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

DRAWN: B.L.F.
 CHECKED: R.C.R.
 DATE: 07/27/11
 SCALE: NONE
 JOB No.: 8453
 SHEET NAME: COVER SHEET

CS-1

DESIGN: MTS, IOWA 14 Terry Key/MSD Plan Sheet/MSD Cover Sheet.dwg 6/27/2011 11:39 AM

TOPOGRAPHIC SURVEY

(THIS IS NOT A BOUNDARY SURVEY)



TOPOGRAPHIC SURVEY NOTES:

- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
- Field work was completed on this site by BFA Inc. on April 23, 2021.
- R = Indicates boundary information per Unrecorded Plat Plat-First Town Subdivision prepared by Four Points Land Surveying and Engineering, Inc.
 Primary Benchmark = Bearing referenced to Grid North of the Iowa Coordinate System, South Zone and elevations referenced to NAD83 (2011) (Epoch 2010.000) utilizing the Iowa RIN (US Foot).
 Temporary Benchmark No. 1 - Control Point
 Northing = 533127.67
 Easting = 181388.79
 Direction = 825.18
 Temporary Benchmark No. 2 - PK Nail in pavement
 Northing = 533408.44
 Easting = 181381.87
 Direction = 827.34
- This site is within Zone 18, "Areas determined to be Outside the 0.25 Annual Chance Floodplain" according to FEMA Flood Insurance Rate Map No. 19103C0210F, Panel 215 of 555, dated February 1, 2018.
- Soil boring locations shown on this plan were taken from the subsurface exploration and evaluation report prepared by their licensee and to be considered approximate only.
- Dating curves and systems on site are vertical. Curbs and gutters along asphalt paved areas are 6" wide with 6" curb and 18" wide gutters. Curbs along concrete areas are 6" high.
- This Site Serves within "PUD" Planned Unit Development, per the City of Des Moines, IA.
 Building setback lines as per the City of Des Moines, Iowa:
 Front Yard:
 Side Yard:
 Rear Yard:
- There is currently no known irrigation system on site.
- Water service to this site is provided by Des Moines Water Works, at time of survey.
- Sanitary sewer service to this site is provided by City of Des Moines, at time of survey.
- Electrical service to this site is provided by Mid American Electric, at time of survey.
- Telephone service to this site is provided by Century Link, at time of survey.
- Natural gas service to this site is provided by MidAmerican Gas, at time of survey.
- The minimum depth of cover for utilities on this site is 66 inches, as per the City of Des Moines laws. Actual depths of utilities may vary.
- Items labeled (TBV) are To Be Field Verified by the Contractor prior to construction, and are shown per maps provided in available records and shall be considered approximate only.

DES MOINES, IOWA
 Net Lease Development LLC
 PO BOX 400843
 Fort Worth, TX 76185

REVISIONS	
1	By: _____ App: _____
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

TOPOGRAPHIC LEGEND	
DESCRIPTION	EXISTING
AIRIAL ELECTRIC	AE
UNDERGROUND ELECTRIC	UE
UNDERGROUND TELEPHONE	UT
GAS LINE	C
WATERLINE	W
SANITARY SEWER	SS
STORM SEWER	=====
EASEMENT	---
PROPERTY LINE	---
CHALKING/WOODEN FENCE	---100---
CONTOUR	---100---
UTILITY POLE	+
GUARD POST	GP
SANITARY MANHOLE	O
WATER VALVE	+
FIRE HYDRANT	+
CATCH BASIN	CB
JUNCTION BOX	O
FLARED END SECTION	DE
CLEANOUT	+
GRADED INLET	II
SOIL BORING	⊗

HORIZONTAL CONTROL POINTS			
POINT NUMBER	DESCRIPTION	NORTHING	EASTING
440	CONTROL POINT	533127.60	181388.78
935	PK NAIL	533408.44	181381.87

Three working days prior to the start of any excavation on this site the Contractor must contact 800-224-7889 for city utility location information.

The contractor shall verify and implement of the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved site-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

**FOR REVIEW PURPOSES ONLY
 NOT TO BE USED FOR CONSTRUCTION**

bfaeng.com TELEPHONE: (505) 230-4751

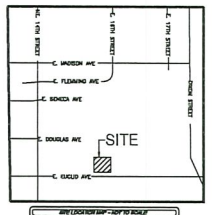


103 ELM STREET WASHINGTON, MISSOURI 63090

SHEET NAME
 TOPOGRAPHIC SURVEY

TS-1

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49

SITE PLAN



SITE NOTES:

- The Contractor shall specifically confirm that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurement taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
Primary Benchmark - Benchmark referenced in Grid North of the Iowa Corridor System, South Zone and elevations referenced to NAD83 (2011) (Epoch 2010.000) using the base RM (25 Feet) Temporary Benchmark No. 1 - Control Point
Northing = 583227.40'
Easting = 181268.17'
Elevation = 825.16'
Temporary Benchmark No. 2 - PK Nail in pavement
Northing = 583262.47'
Easting = 181261.577'
Elevation = 827.34'
- This site falls within Zone X, "as determined to be outside the 0.2% Annual Chance Floodplain" according to FEMA Flood Insurance Rate Map No. 1910C0215F, Panel 215 of 500, dated February 1, 2018.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the paving job. Excavated material shall be placed and compacted to a level equal to the trench depth at the time of the utility installation.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state in which the project is located, at the contractor's expense.
- The artwork for this project shall meet or exceed industry standards and manufacturer specifications for each improvement feature.
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the enclosed building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions and notes are to the face of curb, unless otherwise shown.
- Contractor shall be responsible for all removal of and/or relocation, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc. as required. All work shall be done in accordance with governing authorities regulations and shall be approved by each authority shall be indicated in notes and details.
- Maneuver boards will be supplied by the owner and installed by the Contractor. Contractor shall coordinate with LG Graphic Solutions, (800) 342-2273 or 1-800-546-1513.
- Contractor shall refer to Building Plans prepared by Architect for all building items and related site features, including: Drive-Thru equipment.
- The edges of all pavement and curb sections to be removed and/or that will have new pavement/curb sections abutting them, shall be sawcut. Remaining pavement and curb sections shall have smooth, short edges with no more additional sawcuts may be necessary depending on Contractor's Means and Methods.
- This Site Falls within "PUD" Planned Unit Development, Per the City of Des Moines, IA.
- All ramps and sidewalks shall meet Jurisdiction and ADA Rules/Regulations. Handrails shall be required on all ramps (sidewalks) having a slope of 1:20 (5%) and shall be constructed on concrete that has a vertical clearance greater than 8 inches. Cross slopes on all sidewalks shall not exceed 2%.
- Pavement striping and/or markings shall be applied using two coats of the color specified on a clean surface, at manufacturer's recommended rate, without addition of thinner, with minimum of 100 square feet per coat, or 100 square feet per coat, or 100 square feet per coat, or 100 square feet per coat. Paint shall be applied for a total film thickness minimum of 10 mils per coat. Paint shall be applied for a total film thickness minimum of 10 mils per coat. Apply with mechanical equipment to produce uniform straight edges. All sidewalk curbs and crosswalks, use straightedge to ensure uniform, clean, and straight edges.
- Items labeled (TYP) are to be Field Verified by the Contractor prior to construction, and are shown per maps provided in available records and shall be considered approximate only.

SITE PLAN LEGEND

1. CLEARANCE SIGN (REF SERVICE BY OTHERS)
2. DECK COMPARISON UNIT (REF DETAIL BY OTHERS)
3. MENU BOARD (SEE NOTE 13)
4. ILLUMINATED DIRECTIONAL SIGN (REF SERVICE BY OTHERS)
5. FLAG POLE (REF SIGNAGE) (DO TO COORDINATE POSTING/FOUNDATION PRIOR TO PAID PERM)
6. STORM AREA PAINTED BRICK YELLOW BOLD LINE/ 4" AT 4' 2" OF 5' 0"
7. TOP AND FACE OF CURB TO BE PAINTED YELLOW (TYP)
8. ENCLOSED DAMPSTER (SEE DETAIL)
9. HEAVY DUTY CONCRETE PAD FOR ENCLOSED DAMPSTER (DRESS FOR TRUCK LANDING)
10. PAVLON SIGN (REFERENCE SIGNAGE BY OTHERS)
11. ACCESSIBLE PARKING SPACE (TYP) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, MARK, SYMBOL, AND STRIPING.
12. 8" X 8" PAVLON SIGN (TYP) UNLESS NOTED OTHERWISE, SEE DETAIL CONTRACTOR SHALL COORDINATE BOLLARD INSTALLATION WITH FOOTING, EXISTING PHYSICAL, ETC.
13. DRIVE-THRU PAVMENT MARKING PAINTED YELLOW (TYP) SEE DETAIL.
14. PAINTED TRAFFIC ARROW (TYP)
15. 34" CURB AND GUTTER (TYP) SEE DETAIL.
16. STOP BAR
17. STOP SIGN
18. DO NOT ENTER SIGN
19. ROOF DRAIN W/ CLEANOUT
20. ELECTRIC TRANSFORMER FOR ELECTRICAL SERVICE (CONTRACTOR TO COORDINATE WITH LOCAL POWER COMPANY FOR DETAIL)
21. LIGHT POLE (TYP)
22. DRIVE THRU DETECTOR LOOP (REF ARCH FOR DETAILS)
23. WELLSHOP (TYP)
24. 8" W/ FACE PAVEMENT CROSSWALK

1	2	3
DESCRIPTION	PROPOSED	EXISTING
ADRIAL ELECTION	AC	AC
UTILITY POLE	-	-
GUARD POST	GP	GP
SANITARY MANHOLE	SM	SM
CATCH BASIN	CB	CB
JUNCTION BOX	JB	JB
FLARED END SECTION	ED	ED
CLEANOUT	C	C
GRAVED INLET	B	BI
GRAVED RAIL	-	-
CHALK/WOODEN FENCE	-	-
WATER VALVE	*	*
FIRE HYDRANT	*	*
EASEMENT	-	-
PROPERTY LINE	-	-

PAVEMENT LEGEND

- STANDARD DUTY PAVEMENT (SDP)
- HEAVY DUTY PAVEMENT (HDP)
- CONCRETE PAVEMENT

ABBREVIATION	DESCRIPTION
BM	BENCH MARK
EL	ELEVATION
FL	FLOW LINE
N/Y	NOT YET FORWARDED
DS	DOWNSPOUT
SSCD	SANITARY SEWER CLEANOUT
STSD	STORM SEWER CLEANOUT
⊙	ADA ACCESSIBLE RAMP

These working days prior to the start of any construction at this site the Contractor shall contact 1-800-321-0095 for utility location information.

The contractor shall verify and implement all of the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-site regulations applicable for the type of construction required by these plans.

Along.com TELEPHONE: (639) 230-4751

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
NOT TO BE USED FOR CONSTRUCTION



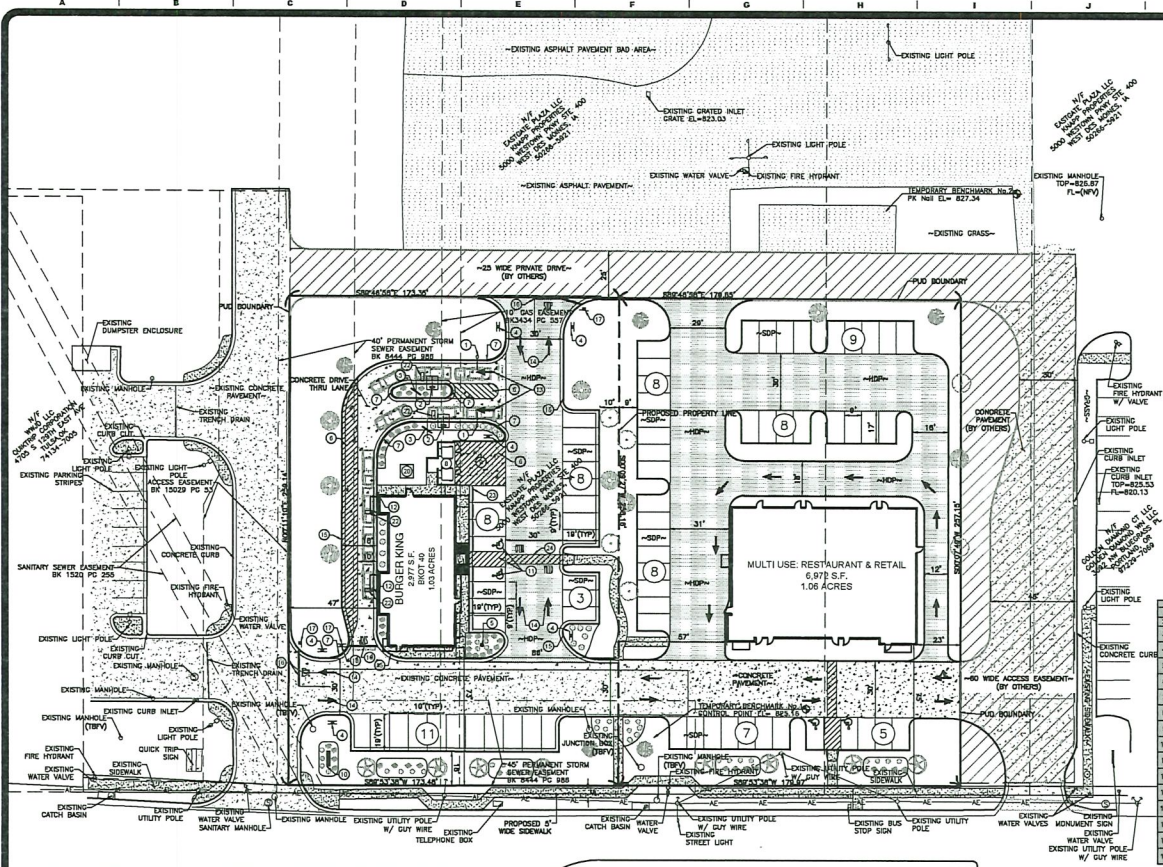
103 ELM STREET WASHINGTON, MISSOURI 63090

DES MOINES, IOWA
Net Lease Development LLC
PO BOX 100843
Fort Worth, TX 76185

NO.	REVISIONS	BY	APP.
1			
2			
3			
4			

DRAWN: G.W.C.
CHECKED: J.B.S.
DATE: 07/27/21
SCALE: 1"=30'
JOB NO.: 6453
SHEET NAME: SITE PLAN

SP-1



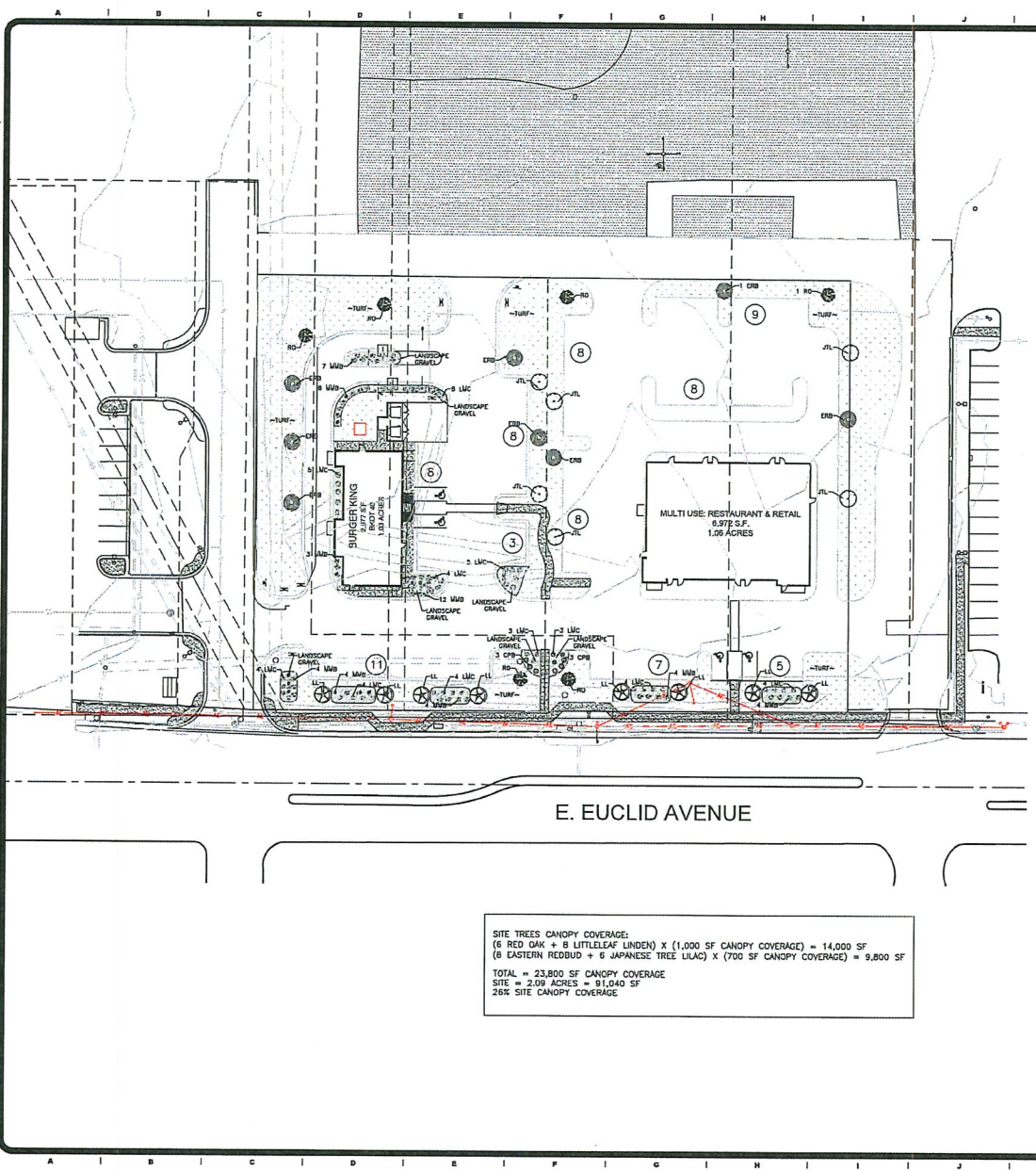
E. EUCLID AVENUE

PARKING DATA	
PROPOSED FAST FOOD BUILDING	2,977 S.F.
CITY REQUIRED PARKING:	
RESTAURANT: 1 SPACE PER 150 SQUARE FEET OF FLOOR AREA	20 SPACES
TOTAL REQUIRED:	20 SPACES
PROVIDED STANDARD SPACES	28 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	30 SPACES
PROVIDED OVERALL PARKING RATIO: 10.08/1,000 S.F.	
9' WIDE X 17' DEEP, 90' SPACE REQUIRED	
9' WIDE X 19' DEEP, PROVIDED	

PARKING DATA	
PROPOSED MULTI USE BUILDING	6,972 S.F.
RESTAURANT (2,736 S.F.) AND RETAIL (4,236 S.F.)	
CITY REQUIRED PARKING:	
RESTAURANT: 1 SPACE PER 150 S.F. OF FLOOR AREA	19 SPACES
SUBTOTAL REQUIRED:	19 SPACES
RETAIL: 1 SPACE PER 200 S.F. OF FLOOR AREA	22 SPACES
SUBTOTAL REQUIRED:	22 SPACES
TOTAL REQUIRED:	41 SPACES
PROVIDED STANDARD SPACES	43 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	45 SPACES
PROVIDED OVERALL PARKING RATIO: 6.45/1,000 S.F.	
9' WIDE X 17' DEEP, 90' SPACE REQUIRED	
9' WIDE X 17' DEEP, PROVIDED	

P:\Work\1452 Des Moines 18 Terry King\1452 Des Moines\1452 Site Plan.dwg
7/27/2021 2:51 PM

Net Lease Development LLC
 17/2/2021 2:18 PM
 07/27/21



SITE TREES CANOPY COVERAGE:
 (6 RED OAK + 8 LITTLELEAF LINDEN) X (1,000 SF CANOPY COVERAGE) = 14,000 SF
 (6 EASTERN REDBUD + 6 JAPANESE TREE LILAC) X (700 SF CANOPY COVERAGE) = 9,800 SF
 TOTAL = 23,800 SF CANOPY COVERAGE
 SITE = 2.09 ACRES = 91,040 SF
 26% SITE CANOPY COVERAGE

LANDSCAPE PLAN



LANDSCAPE NOTES

- Contractor shall place and in all grass/lawn areas as shown, and all other cleared areas.
- After a stand of grass is established and no more erosion and sediment is expected, concrete aprons shall be cleared out.
- The site work for this project shall meet or exceed Industry Standards and Manufacturer's Specification for each improvement feature.
- The Contractor shall provide a one-year maintenance contract for all landscaping and the irrigation system.
- The apron areas shall have a seed border and be covered with landscape gravel of 3" minimum depth. A steel edging shall be used on all landscaped areas within grass areas.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities on sheets on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate of existing utilities which conflict with the proposed improvements shown on plans.
- All unexcavated areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas outside of paved areas that are disturbed during construction until an acceptable stand of grass is established. Contractor shall be responsible to take whatever means necessary to maintain permanent soil stabilization.
- Soil shall be well-aerated and be completely free from noxious weeds and reasonably free from other objectionable grasses, weeds, and stones. Seeding and sodding shall be done in accordance with this landscape plan.
- All plants must be healthy, vigorous material, free of pest and diseases.
- All plants must be container grown or balled and burlapped as indicated in the plant list.
- All trees must be straight trunked and full headed and meet all requirements specified.
- All plants are subject to the approval of the owner before, during and after installation.
- Prior to construction, the Contractor shall be responsible for marking all underground utilities and shall avoid damage to all utilities during the course of the work. The Contractor is responsible for repairing any and all damage to utilities, structures, etc which occurs as a result of the landscape and irrigation construction.
- Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- All planter boxes and planter areas shall be bordered with a 3/4" x 1/2" x 1/2" stone and seeded to meet the seeding specifications, unless otherwise indicated on these plans.
- All landscape material must be provided by a local nursery or tree farm within a 100 radius of site.
- Contractor to adjust plantings accordingly, notify BFA and Owner of any major changes.
- Proposed plant material is to be selected by the contractor and approved by the Owner prior to construction.
- Tree locations and planting bed to be located by the contractor and approved by the owner prior to installation.
- Planting shall not prohibit the distance requirements.
- Contractor shall coordinate with owner and City prior to construction to determine if a separate irrigation meter is needed.
- The Contractor shall provide a line item cost for irrigation in landscaping and items in their Design Build pricing. Irrigation shall be provided for all shrubs/trees, and spray irrigation for all seed areas. Irrigation shall be installed before the seed border. Contractor shall verify with the Developer prior to construction to confirm installation.

PLANTING LEGEND			
COMMON NAME (PLANT LABEL)	SYMBOL	BOTANICAL NAME	PLANT SIZE QUANTITY
RED OAK (RO)		QUERCUS RUBRA	1.5" CAL/8 FT 6
LITTLELEAF LINDEN (LL)		TELA CORNATA	1.5" CAL 8
EASTERN REDBUD (ERB)		CERCIS CANADENSIS	1.5 CAL/8 FT 8
JAPANESE TREE LILAC (JL)		SYRINGA RETICULATA	1.5 CAL/8 FT 6
NORWICH YEW TREE (NYT)		BUXUS MICROPHYLLA JAPONICA 'NORWICH YEW'	3 GAL 20
LOBE SCAPED HOLLAND CHERRYBERRY (LHC)		ARUNDA MELANOCARPA	3 GAL 48
CRIMSON PYRAMID BARBERY (CPB)		BERBERIS THUNBERGII	3 GAL 6
TURF-500		TURF TYPE FESCUE	
LANDSCAPE GRAVEL		1.5"-2" GRANITE LANDSCAPE GRAVEL	

NOTE: ALL QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.

LANDSCAPE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC		
UNDERGROUND ELECTRIC		
UTILITY POLE		
GAS LINE		
GUARD POST		
SAFETY BEER		
SAFETY WANDOLE		
STORM SEWER		
CATCH BASIN		
JUNCTION BOX		
FLARED END SECTION		
CLEANOUT		
GRADED INLET		
GUARD RAIL		
CHADOLINE FENCE		
SETBACK		
WATER VALVE		
PILE MOUNTANT		
LAKEVIEW		

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-392-8989 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



DES MOINES, IOWA
 Net Lease Development LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	
2	App:
3	App:
4	App:

DRAWN: B.L.F.
 CHECKED: J.B.S.
 DATE: 07/27/21
 SCALE: 1"=30'
 JOB No. 6455
 SHEET NAME: LANDSCAPE PLAN

LP-1

49

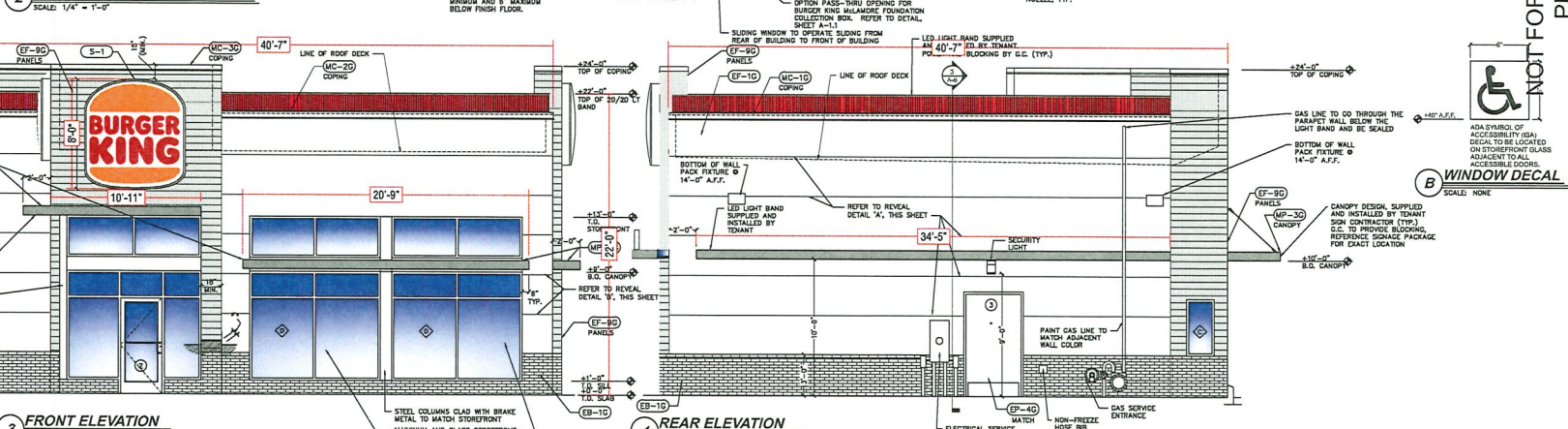
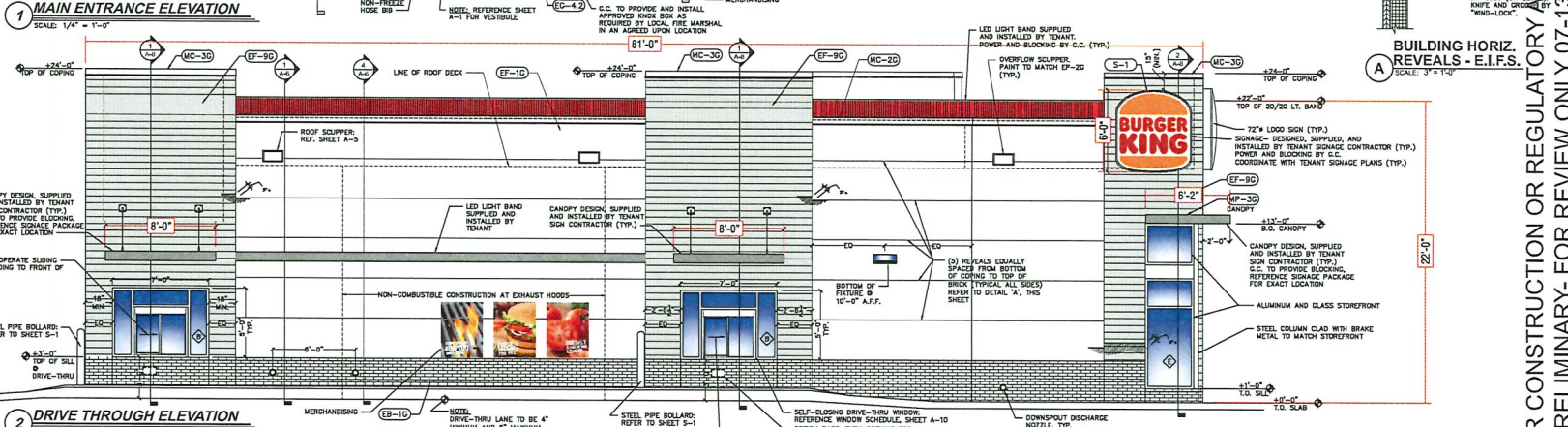
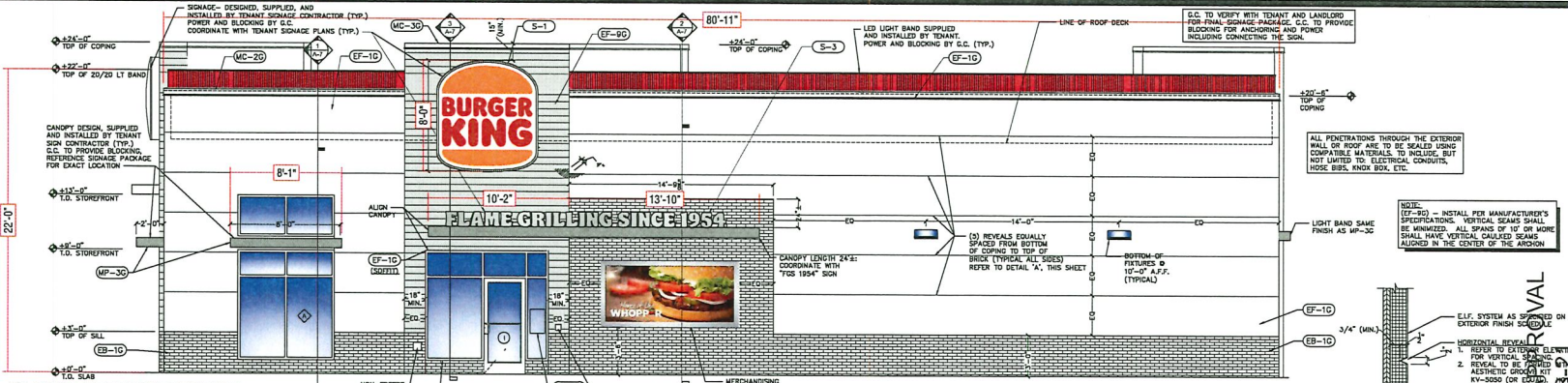


NO.	DATE	BY	REVISION

FRANZ architects
4625 International Plaza Suite 100
Fort Worth, Texas 76133
(817) 732-9922
www.franzarchitects.com

BURGER KING RESTAURANT
E. DODD AVE.
DES. 10/26/14, 10/31/14
COLOR EXTERIOR ELEVATIONS

A-2



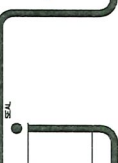
DATE: 04/13/21	REVISION:
BY: JMK	CHECKED BY: JMK
DATE:	REVISION:
BY:	CHECKED BY:



OLD ADDRESSES / PASTY KING
1500 W. WYOMING
PALMER 16068
PORT WORTH, TEXAS 76168
EMAIL: FRANK@FRANZARCH.COM
WWW.FRANZARCH.COM

FRANZ
architects

4055 International Plaza Suite 100
Fort Worth, Texas 76109
(817) 737-9922



PROJECT # 20207
BURGER KING RESTAURANT
E. BRADEN AVE.
E.S. HOMES, TX 60233

EXTERIOR ELEVATIONS

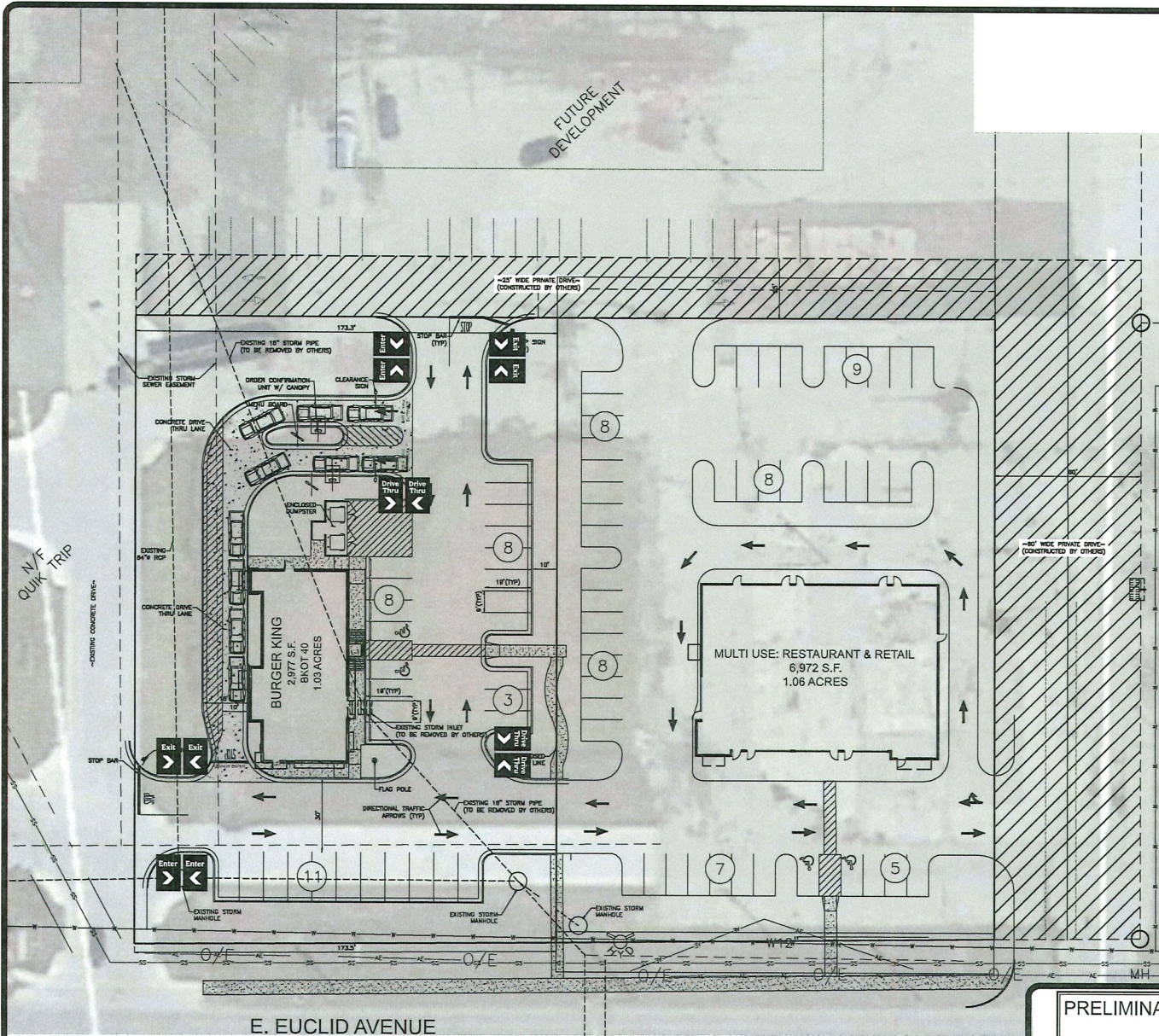
NOT FOR CONSTRUCTION OR REGULATORY REVIEW ONLY 07-13-22
PRELIMINARY- FOR REVIEW ONLY

CONCEPTUAL SITE PLAN 2.1



SITE NOTES:

1. SITE IS ZONED PUD "PLANNED UNIT DEVELOPMENT" ZONE AS PER CITY OF DES MOINES.
2. BOUNDARY INFORMATION IS GRAPHICALLY SCALED FROM AVAILABLE MAPS AND DATA. THUS PROPERTY LINES AND ACREAGES SHALL BE CONSIDERED APPROXIMATE ONLY.
3. BUILDING SETBACKS AS PER CITY OF DES MOINES ZONING CODE:
FRONT YARD=
SIDE YARD=
REAR YARD=
IMAGE COMPLIANT.
4. ALL SIGNAGE AND DRIVETHRU ORDERSTATION(S) WILL BE 2020 IMAGE COMPLIANT.
5. LANDSCAPING REQUIRED PER BURGER KING CORPORATE GUIDELINES WILL BE IN ACCORDANCE WITH THE WALKTHRU INSPECTION (FACILITY INSPECTION REPORT).
6. ALL REPAIR AND MAINTENANCE WORK TO BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.
7. PLANS WILL MATERIALLY COMPLY WITH ALL LOCAL, STATE, AND NATIONAL CODES, INCLUDING THE AMERICANS WITH DISABILITIES ACT.
8. TRASH ENCLOSURE COLOR WILL MATCH BUILDING.
9. ALL EXTERIOR MENU BOARDS WILL BE BURGER KING APPROVED DIGITAL MODELS.



PARKING DATA	
PROPOSED MULTI USE BUILDING	6,972 S.F.
RESTAURANT (2,736 S.F.) AND RETAIL (4,236 S.F.)	
CITY REQUIRED PARKING:	
RESTAURANT: 1 SPACE PER 150 S.F. OF FLOOR AREA	2 SPACES
SUBTOTAL REQUIRED:	19 SPACES
RETAIL: 1 SPACE PER 200 S.F. OF FLOOR AREA	22 SPACES
SUBTOTAL REQUIRED:	41 SPACES
TOTAL REQUIRED:	41 SPACES

PROVIDED STANDARD SPACES	43 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	45 SPACES
PROVIDED OVERALL PARKING RATIO: 6.45/1,000 S.F.	
9' WIDE X 17' DEEP, 90° SPACE REQUIRED	
9' WIDE X 17' DEEP, PROVIDED	

PARKING DATA	
PROPOSED FAST FOOD BUILDING	2,977 S.F.
CITY REQUIRED PARKING:	
RESTAURANT:	
1 SPACE PER 150 SQUARE FEET OF FLOOR AREA	20 SPACES
TOTAL REQUIRED:	20 SPACES
PROVIDED STANDARD SPACES	28 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	30 SPACES
PROVIDED OVERALL PARKING RATIO: 10.01/1,000 S.F.	
9' WIDE X 17' DEEP, 90° SPACE REQUIRED	
9' WIDE X 19' DEEP, PROVIDED	

DES MOINES, IOWA
 Net Lease Development, LLC
 PO Box 100843
 Fort Worth, TX 76185

REVISIONS	
1	
By:	App:
2	
By:	App:
3	
By:	App:
4	
By:	App:

DRAWN
G.W.C.
CHECKED
J.B.S.
DATE
04/25/21
SCALE
1"=20'
JOB No.
B453
SHEET NAME
CONCEPTUAL SITE
PLAN 2.1

PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY
 NOT TO BE USED FOR CONSTRUCTION

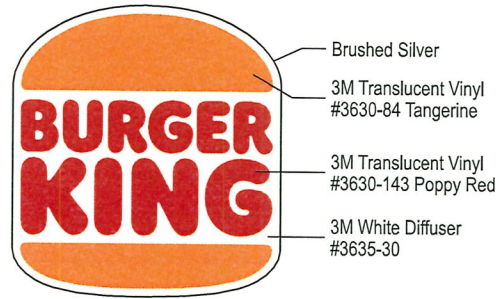
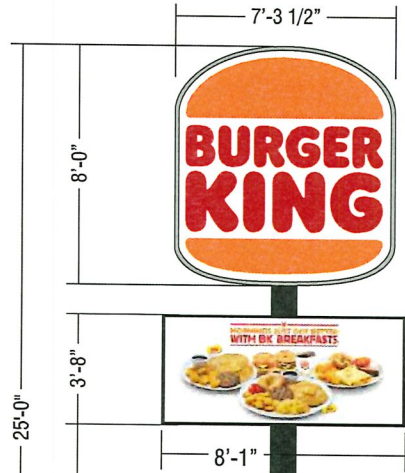
bfaeng.com TELEPHONE: (536) 239-4751

 103 ELM STREET WASHINGTON, MISSOURI 63202

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-252-6098 for utility location information.
 The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

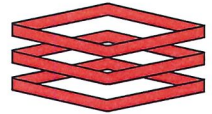
E. EUCLID AVENUE

8' BK BUN PYLON @ 25' OAH WITH 3'-8" X 8'-1" EMCS



MAIN CABINET: D/F LED ILLUMINATED CABINET WITH .125" CLEAR SOLAR GRADE POLYCARBONATE W/ UV INHIBITOR VACUUM FORMED PANNED AND EMBOSSED FACES. 3M TRANSLUCENT VINYL APPLIED TO 2ND SURFACE W/ WHITE DIFFUSER.

EMC: TWO S/F FULL COLOR 15.85mm DAKTRONICS ELECTRONIC MESSAGE CENTERS.



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COLOR NOTES:

-  #3630-84 Tangerine
-  #3630-143 Poppy Red
-  #3635-30 White Diffuser
-  BK Silver
-  Black

REVISION	
1	XXXXX
2	XXXXX
3	XXXXX
4	XXXXX
ARTIST	
MATT C	
CUSTOMER	
BURGER KING	
SCALE	
1/4" = 1'	
DATE	
04/16/21	
LOCATION	
VARIOUS	



DEPARTMENT: ART