

Date October 4, 2021

**RESOLUTION SETTING HEARING ON REQUEST FROM KENYON HILL RIDGE, LLC
FOR REVIEW AND APPROVAL OF THE 1ST AMENDMENT TO THE RUBY ROSE
RIDGE PUD CONCEPTUAL PLAN FOR PROPERTY LOCATED
IN THE VICINITY OF 2401 EAST 50TH COURT**

WHEREAS, on September 16, 2021, the City of Des Moines Plan and Zoning Commission voted 13-0 to **APPROVE** a request from Kenyon Hill Ridge, LLC (owner), represented by Dean Quirk (officer), to review and approve the 1st Amendment to the Ruby Rose Ridge PUD Conceptual Plan on property located in the vicinity of 2401 East 50th Court (“Property”) to allow development of the 6.27-acre “Area C” with approximately 65 housing units with approximately 11 row house residential structures, subject to the following revisions:

1. Replacement of the proposed maximum building coverage standard for Area C with a statement indicating that building coverage and impervious area maximums shall be regulated by the applicable rowhouse standards found in Chapter 135: Planning and Design Ordinance.
2. Provision of a note that states foundation plantings shall be provided for each rowhouse unit.
3. Provision of a note that states that Area C shall be landscaped to meet and/or exceed the applicable landscaping standards found in Chapter 135: Planning and Design Ordinance.
4. Provision of a note that states that the developer is responsible for all costs and connection fees associated with the sanitary sewer connections and all costs associated with constructing the necessary water connections.
5. Provision of a note that states all utilities shall be provided underground, where reasonably practicable, in accordance with Chapter 135: Planning and Design Ordinance.
6. Provision of a note that states sidewalk shall be provided along East 50th Court and Northeast 23rd Avenue (Easton Boulevard) including the frontage along the adjoining outlot and Lot 1.
7. Provision of a note that states fencing within Area C shall comply with the applicable standards found in Chapter 135: Planning and Design Ordinance, with any permitted chain link fencing being limited to black vinyl clad.
8. Provision of a note that states that trash and recycling for Area C shall be residential roll outs in nature and shall be located within a setback or on a street-facing façade.
9. Provision of a note that states mechanical, meters, transformers or similar items shall be screened and shall not be located on a street-facing façade.
10. The front façade of any rowhome constructed on Lots 51-65 shall be oriented towards East 50th Court. These units shall utilize a rear loaded garage design. Each unit shall have a direct sidewalk connection to the public sidewalk along East 50th Court.
11. Provision of a note that states each rowhouse shall have an attached garage.
12. Provision of a note that states any building constructed in Area C shall comply with the applicable architectural design standards found in Chapter 135: Planning and Design Ordinance; and

WHEREAS, the Property is legally described as follows:

Date October 4, 2021

LOT 1, LOT 2, AND OUTLET B in RUBY ROSE RIDGE PLAT 1, AN OFFICIAL PLAT NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed 1st Amendment to the Ruby Rose Ridge PUD Conceptual Plan is to be considered shall be held at the Council Chambers, City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa, at 5:00 p.m. on October 18, 2021, at which time the City Council will hear both those who oppose and those who favor the proposal.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposals in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

MOVED BY _____ TO ADOPT.

FORM APPROVED:



Judy K. Parks-Kruse, Assistant City Attorney

(ZONG2021-000016)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				
MOTION CARRIED			APPROVED	
_____ Mayor				

CERTIFICATE

I, P. Kay Cmelik, City Clerk of said City, hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

City Clerk

September 28, 2021

Communication from the City Plan and Zoning Commission advising that at their September 16, 2021 meeting, the following action was taken regarding a request from Kenyon Hill Ridge, LLC (owner), represented by Dean Quirk (officer), for review and approval of the 1st amendment to the Ruby Rose Ridge PUD Conceptual Plan, for property located in the vicinity of 2401 East 50th Court, to allow development the 6.27-acre "Area C" with approximately 65 housing units within approximately 11 rowhouse residential structures.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus	X			
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Chris Draper	X			
Jann Freed				X
Todd Garner	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
William Page	X			
Rocky Sposato				X
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the "Ruby Rose Ridge" PUD Conceptual Plan subject to the following revisions:

1. Replacement of the proposed maximum building coverage standard for Area C with a statement indicating that building coverage and imperious area maximums shall be regulated by the applicable rowhouse standards found in Chapter 135: Planning and Design Ordinance.

2. Provision of a note that states foundation plantings shall be provided for each rowhouse unit.
3. Provision of a note that states Area C shall be landscaped to meet and/or exceed the applicable landscaping standards found in Chapter 135: Planning and Design Ordinance.
4. Provision of a note that states that the developer is responsible for all costs and connection fees associated with the sanitary sewer connections and all costs associated with constructing the necessary water connections.
5. Provision of a note that states all utilities shall be provided underground, where reasonably practicable, in accordance with Chapter 135: Planning and Design Ordinance.
6. Provision of a note that states sidewalk shall be provided along East 50th Court and Northeast 23rd Avenue (Easton Boulevard) including the frontage along the adjoining outlot and Lot 1.
7. Provision of a note that states fencing within Area C shall comply the applicable standards found in Chapter 135: Planning and Design Ordinance, with any permitted chain link fencing being limited to black vinyl clad.
8. Provision of a note that states that trash and recycling for Area C shall be residential roll outs in nature and shall not be located within a setback or on a street-facing façade.
9. Provision of a note that states mechanical, meters, transformers or similar items shall be screened and shall not be located on a street-facing façade.
10. The front façade of any rowhome constructed on Lots 51-65 shall be oriented towards East 50th Court. These units shall utilize a rear loaded garage design. Each unit shall have a direct sidewalk connection to the public sidewalk along East 50th Court.
11. Provision of a note that states each rowhouse shall have an attached garage.
12. Provision of a note that states any building constructed in Area C shall comply with the applicable architectural design standards found in Chapter 135: Planning and Design Ordinance. (ZONG-2021-000016)

Written Responses

1 in Favor

12 in opposition

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the "Ruby Rose Ridge" PUD Conceptual Plan subject to the following revisions:

1. Replacement of the proposed maximum building coverage standard for Area C with a statement indicating that building coverage and imperious area maximums shall be regulated by the applicable rowhouse standards found in Chapter 135: Planning and Design Ordinance.
2. Provision of a note that states foundation plantings shall be provided for each rowhouse unit.
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11. Provision of a note that states each rowhouse shall have an attached garage.
12. Provision of a note that states any building constructed in Area C shall comply with the applicable architectural design standards found in Chapter 135: Planning and Design Ordinance.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed 1st amendment to the PUD Conceptual Plan "Ruby Rose Ridge" would allow development of the 6.27-acre "Area C" with approximately 65 housing units within approximately 11 eleven row home structures containing three (3) to eight (8) units. The development would be accessed two access drives off of East 50th Court.
2. **Size of Site:** 6.27 acres.
3. **Existing Zoning (site):** "PUD", Planned Unit Development.
4. **Existing Land Use (site):** The site contains a single-family dwelling. The balance of the site is graded land for residential development.
5. **Adjacent Land Use and Zoning:**
 - North** – "Woods at Cooper Creek PUD"; Use is currently agricultural production but will eventually be single-family residential.
 - South** – "R-3" (Pleasant Hill); Use is the Copper Creek golf course community with a mix of single-family and townhome dwellings.
 - East** – "LDR" (Polk County); Uses are single-family residential.
 - West** – "Woods at Cooper Creek PUD"; Uses are single family residential.
6. **General Neighborhood/Area Land Uses:** The subject property is located to the north of NE 23rd Avenue (Easton Boulevard) in an area that includes a mix of low-medium density residential and low density residential uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is not located within 250 feet of any recognized neighborhood. All neighborhoods were notified of the public hearing by mailing of the Preliminary Agenda on August 27, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on August 27, 2021 (20 days prior to the hearing) and September 3, 2021 (10 days prior to the hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site. The Final Agenda for the hearing was mailed to all recognized neighborhoods on September 10, 2021.

The applicant can provide a summary of the neighborhood meeting at the public hearing.
8. **Relevant Zoning History:** None.

9. **PlanDSM: Creating Our Tomorrow Land Use Plan Designation:** The portion of the PUD that is to be amended is designated as Low-Medium Density Residential. Adjoining properties within the City of Des Moines that are west and north of the amended area have the Low-Density Residential designation.
10. **Applicable Regulations:** The Commission reviews all proposals to amend zoning regulations or zoning district boundaries within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in §414.3 of the Iowa Code, and taking into consideration the criteria set forth in Chapter 18B of the Iowa Code. The Commission may recommend that certain conditions be applied to the subject property if the property owner agrees in writing, in addition to the existing regulations. The recommendation of the Commission will be forwarded to the City Council.

The application, accompanying evidence and Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of this division and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the Conceptual Plan and request for rezoning as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the commission shall be referred to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **PlanDSM Creating Our Tomorrow Future Land Use Plan Designation:** The proposed PUD Conceptual Plan amendment redesignates 6.27 acres from multiple-family residential development to single-family row home development (5.7 acres) and existing single-family dwelling (.57 acres) within Area C. The land use designation shall remain Low-Medium Density Residential as previously approved, which allows for development up to 12 dwelling units per acre. Both Areas A and B will remain in accordance with the originally approved PUD Conceptual Plan.

The proposed density of Area C (65 units on 5.7 acres, or 11.4 units per acre), fits within the "Low-Medium Density Residential" which allows for development of over 12 dwelling units per acre.

2. **Bulk Regulations:** The proposed amendment would maintain the current standards for the one household lots within Area A and the bi-attached lots in Area B. The minimum lot area for the one household lots is 7,500 square feet and is 3,800 square feet for the bi-attached lots. The minimum lot width requirement for the one household lots is 60 feet and is 35 feet for the bi-attached lots. The submitted Conceptual Plan amendment demonstrates that Area C would contain 65 multiple-family residential units within eleven structures containing three (3) to eight (8) units. Each lot would have to comply with the following minimums:
- Lot area: 1,700 square feet
 - Lot width: 26 feet
 - Side yard setback: 5 feet
 - Maximum building coverage: 65%

The submittal indicates these standards are from those applicable in the NX2 District for this type of development. The NX2 District limits building coverage area to a maximum of 45% with total impervious area (building & pavement) to 65% for Row Building and Flat Building Types. Staff believes that the Conceptual Plan should be corrected to match the correct code reference.

3. **Natural Site Features:** The subject property contains vegetation along drainage ways and fence lines. The PUD Conceptual Plan states that all tree removal will be in accordance with the City's Tree Removal and Mitigation Ordinance. It also states that a soils report and stormwater runoff control plan per City Code Section 106-136 is required and that all grading is subject to an approved grading permit and soil erosion control plan.
4. **Landscaping:** The landscaping standards listed on the submitted amendment focus on Areas A & B and do not address Area C. Staff believes that foundation plantings should be provided for each rowhouse unit and that the overall site should be landscaped in accordance with the applicable standards found in Chapter 135 of City Code.
5. **Stormwater Management:** The PUD Conceptual Plan provides multiple stormwater detention areas throughout the development. The final stormwater management plan would be approved with any PUD Final Development Plan or Preliminary Plat.
6. **Utilities:** There currently is City of Des Moines owned sanitary sewer located adjacent to this property in East 50th Court.

Staff recommends that the PUD Conceptual Plan state the developer is responsible for all costs and connection fees associated with the sanitary sewer connections and all costs associated with constructing the necessary water connections.

Staff recommends that the PUD Conceptual Plan state all utilities shall be provided underground, where reasonably practicable, in accordance with Chapter 135: Planning and Design Code.

7. **Traffic/Street System:** Prior to the submittal of the application, a traffic impact study was completed. Traffic capacity and queuing were found to be sufficient as designed to handle flow of traffic for each analyzed scenario and no traffic control changes or roadway geometric changes are required to maintain capacity. The PUD Conceptual Plan states that 5-foot wide sidewalks shall be provided along both sides of all public streets and that adequate pedestrian connections will be provided within Area C.

Staff recommends that the PUD specify sidewalk to be provided along East 50th Court and Easton Boulevard inclusive of the existing one household home that fronts NE 23rd Avenue.

8. **Fencing:** The PUD Conceptual Plan states any fence shall be in accordance with the fencing standards applicable in the "R1-60" District, so long as any chain link fence

shall have black vinyl-cladding. Staff recommends that the standards in Chapter 135 be referenced for fencing in Area C.

9. Architectural Guidelines: The Conceptual Plan does not provide specific architectural guidelines for the row-house dwellings in Area C. Staff recommends approval subject to the design standards listed in Section III of this report.

10. Fire Protection: The approved PUD Conceptual Plan states that any number of residential units built in excess of 30 units shall have approval by the Fire Marshall under alternate design for sprinkling last eight units or with an approved secondary fire access drive.

11. Additional Information: The PUD Conceptual Plan does not state how trash and recycling shall be handled. Staff recommends that the PUD state that trash and recycling shall be residential roll outs in nature and shall not be located within a setback or on a street-facing façade.

The PUD Conceptual Plan does not address how mechanical or similar equipment is to be handled. Staff recommends that the PUD state that mechanical, meters, transformers or similar shall be screened and shall not be located on a street-facing façade.

The PUD Conceptual Plan states the development shall be permitted to have one (1) entrance freestanding monument sign at the street connection along NE 23rd Avenue (Easton Blvd), where the sign shall be no greater than 24 square feet in area, shall not be illuminated, shall not be located within any required vision clearance triangle, and shall be constructed primarily of masonry materials with a design approved by the City's Planning Administrator.

SUMMARY OF DISCUSSION

Dory Briles asked if any member of the public or the commission desired to speak on the item. No one requested to speak.

COMMISSION ACTION:

Carolyn Jension made a motion for approval of the "Ruby Rose Ridge" PUD Conceptual Plan subject to the following revisions:

1. Replacement of the proposed maximum building coverage standard for Area C with a statement indicating that building coverage and imperious area maximums shall be regulated by the applicable rowhouse standards found in Chapter 135: Planning and Design Ordinance.
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12. Provision of a note that states any building constructed in Area C shall comply with the applicable architectural design standards found in Chapter 135: Planning and Design Ordinance.

Motion passed: 13-0

Respectfully submitted,

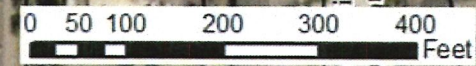


Bert Drost, AICP
Deputy Planning & Urban Design Administrator

BAD:tjh

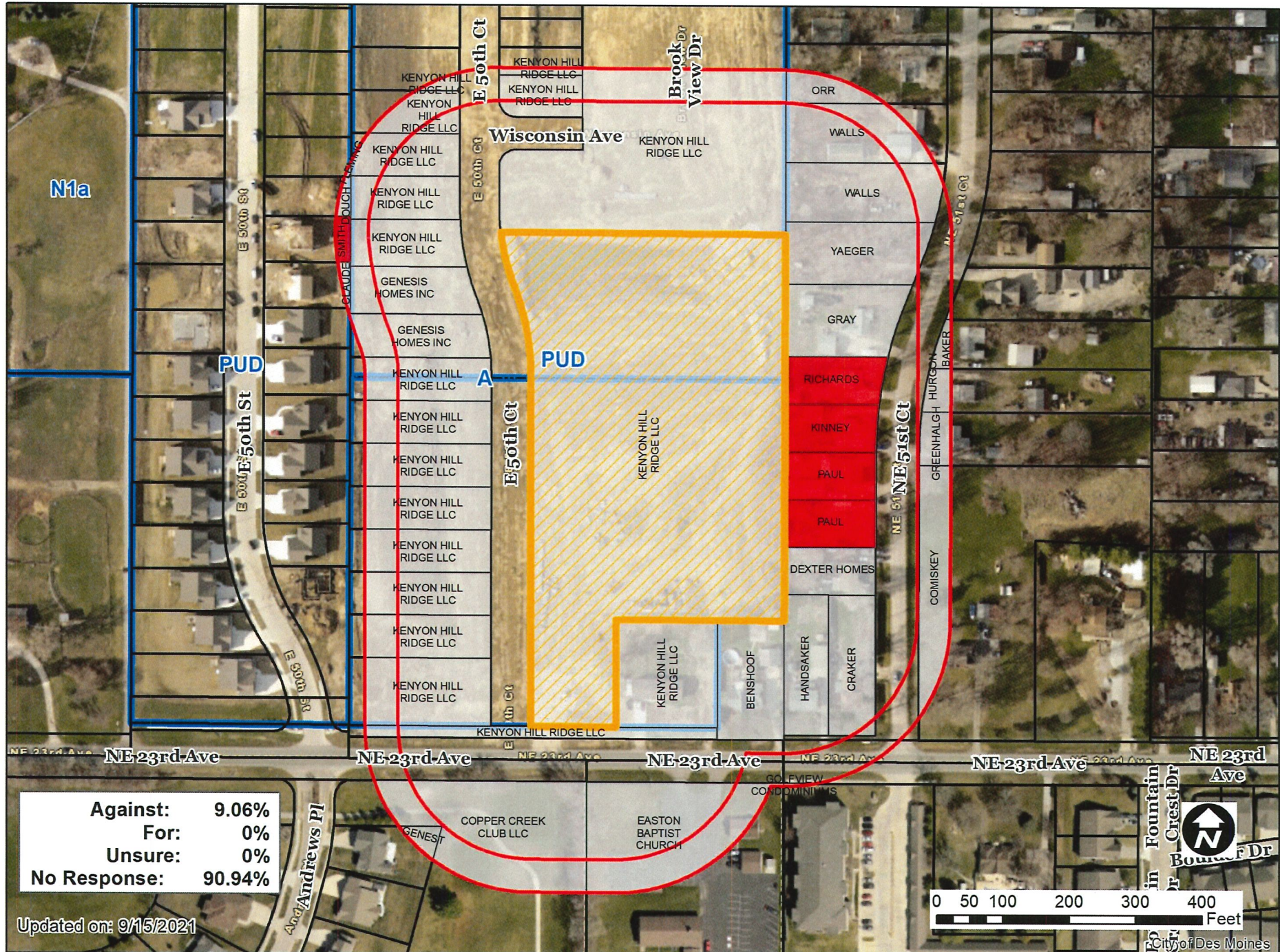


Updated on: 8/19/2021



1 inch = 192 feet

27



Against:	9.06%
For:	0%
Unsure:	0%
No Response:	90.94%

Updated on: 9/15/2021

1 inch = 192 feet

27

Item: ZONG-2021-000016

Date: 8-8-21 27

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Signature: _____

Name: _____

Address: _____

2935 NE 51st Ct.
DSM, IA 50317

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

SEP 13 2021

Reason for opposing or approving this request may be listed below:

Wish to keep traffic to
a minimum and not
increase property taxes.

Item: ZONG-2021-000016

Date: 9-10-21

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Signature: _____

Name: _____

Address: _____

2424 NE 51st Ct.

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

SEP 13 2021

Reason for opposing or approving this request may be listed below:

Privacy and Increased Property Taxes

Item: ZONG-2021-000016^{STW}

Date: 9-8-21

27

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Staff Use Only
RECEIVED
COMMUNITY DEVELOPMENT
SEP 13 2021

Signature: Alice Paul

Name: ALICE PAUL

Address: 2410 NE 51ST RT

Reason for opposing or approving this request may be listed below:

Item: ZONG-2021-000016

Date: 9-10-2021

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Staff Use Only
RECEIVED
COMMUNITY DEVELOPMENT
SEP 13 2021

Signature: Stacey Smith

Name: Stacey Smith

Address: 2506 E. 50th Street

Reason for opposing or approving this request may be listed below:

I do not want low-income housing,
apartments, or condos. Single family
homes only.

Item: ZONG-2021-000016

Date: 27

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Signature: Vicky L Pinegar

Name: VICKY L. Pinegar

Address: 261 ONE 51st COURT

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

SEP 13 2021

Reason for opposing or approving this request may be listed below:

Conflict of interest for Linda W. /
We are a single family neighborhood / no place
for kids to play / tax abatement for new homes
to much traffic on Easton Blvd

Item: ZONG-2021-000016

Date: 9/10/21

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Signature: Mike Medita

Name: Mike Medita

Address: 2415 E 50th St
Om IA 50317

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

SEP 13 2021

Reason for opposing or approving this request may be listed below:

Item: ZONG-2021-000016 Date: _____

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

SEP 13 2021

Signature: Kim Schooley

Name: KIM Schooley

Address: 2510 E 50th St.

Reason for opposing or approving this request may be listed below:

Dont want Apartment or Townhouses
for low income families to lower
Value of our homes

Item: ZONG-2021-000016 Date: Sept 9 2021

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Staff Use Only

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COMMUNITY DEVELOPMENT

SEP 13 2021

Signature: Laura White

Name: LAURA White

Address: 2640 NE 57th St.

Reason for opposing or approving this request may be listed below:

Too many people in small area / Higher Crime Rate
Lack of Home ownership
it will lower our Property Value

Item: ZONG-2021-000016

Date: 9/8/2021 27

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Staff Use Only
 RECEIVED
 COMMUNITY DEVELOPMENT
 SEP 13 2021

Signature: Kristina Meyer

Name: Kristina Meyer

Address: 5070 Andrews Pl, P. Hill, IA 50327

Reason for opposing or approving this request may be listed below:

Item: ZONG-2021-000016

Date: 9-9-21

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Staff Use Only
 RECEIVED
 COMMUNITY DEVELOPMENT
 SEP 13 2021

Signature: Chris Kinney

Name: Chris Kinney

Address: 2440 NE 31st CT Des Moines IA

Reason for opposing or approving this request may be listed below:

You are putting too many people in a small area with only 1 outlet/inlet (E 50th ct), too much traffic. Overloaded infrastructure (NE 23rd Ave)
 What zoning ordinance needs amended??

Item: ZONG-2021-000016

Date: 9-10-21

Please mark one of the following

I am in favor of the request

I am not in favor of the request

Signature: Nancy Brown

Name: Nancy Brown

Address: 2460 N.E. 51 Ct.

Staff Use Only
RECEIVED
COMMUNITY DEVELOPMENT
SEP 15 2021

Reason for opposing or approving this request may be listed below:

Item: ZONG-2021-000016

Date: 9-16-2021/21

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Signature: Craig Campbell

Name: Craig Campbell

Address: 503 Lincoln St NE
Bondurant, IA 50035-2600

Staff Use Only

RECEIVED
COMMUNITY DEVELOPMENT

SEP 20 2021

Reason for opposing or approving this request may be listed below:

My company Dexter Homes LLC owns
2380 NE 51st Ct Des Moines. I don't
want riff raff backing up to my
property. Thanks!

Item: ZONG-2021-000016

Date: 9/16/21

Please mark one of the following

- I am in favor of the request
- I am not in favor of the request

Signature: Paul D Sebring

Name: Paul D Sebring

Address: 2317 E 50th St.

Staff Use Only

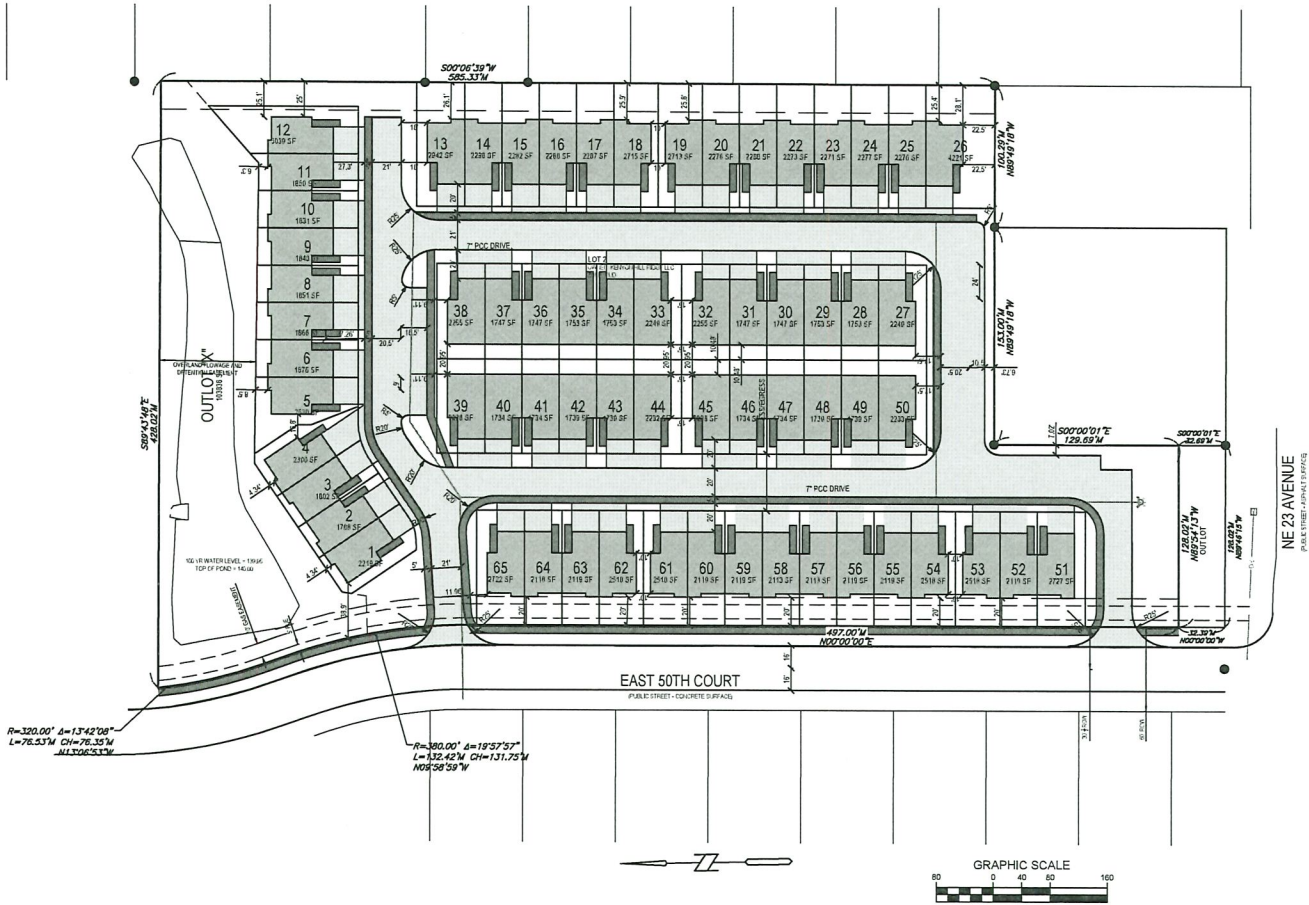
RECEIVED
COMMUNITY DEVELOPMENT

SEP 20 2021

Reason for opposing or approving this request may be listed below:

PRELIMINARY- NOT FOR CONSTRUCTION

8/10/2011 2:48:44 PM USLAND PROJECT 201101003-10007040 CLAY COURT AND UTILITIES.DWG



RUBY ROSE RIDGE TOWNHOMES
 LAYOUT PLAN

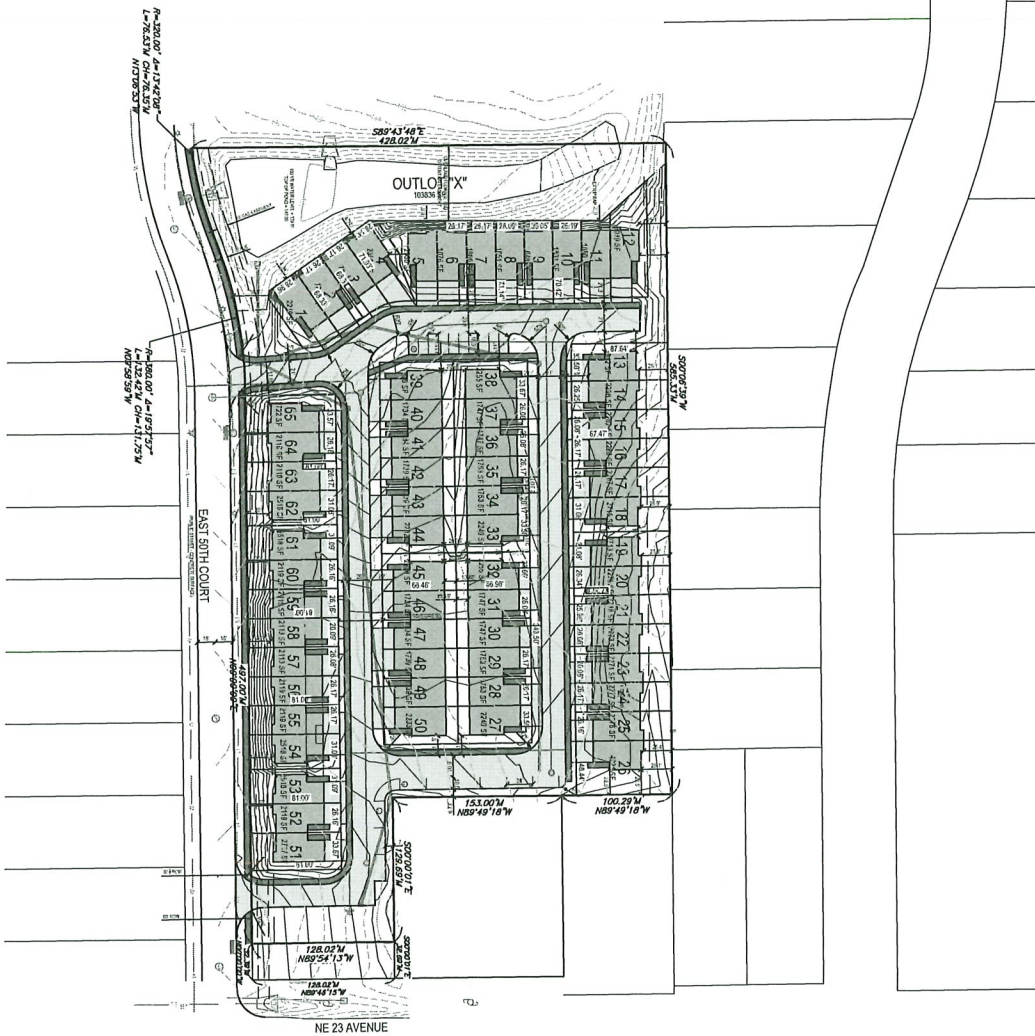
REFERENCE NUMBER:	
DRAWN BY:	DRL
CHECKED BY:	
REVISION DATE:	
PROJECT NUMBER:	170263-1
SHEET NUMBER:	2 OF 6

27

PRELIMINARY- NOT FOR CONSTRUCTION

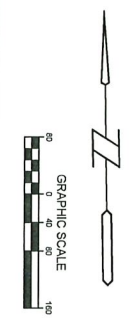
9/10/2021 12:11 AM MLAND PROJECTS 29171170263-100V0PUD C1 LAYOUT AND UTILITIES.DWG

RUBY ROSE RIDGE PLANNED UNIT DEVELOPMENT



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BURIED ONLY. BURIED ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN. BEFORE ANY CONSTRUCTION COMMENCES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ANY UTILITIES SHOWN TO OWN OR CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEM UTILITIES IN THE FIELD.

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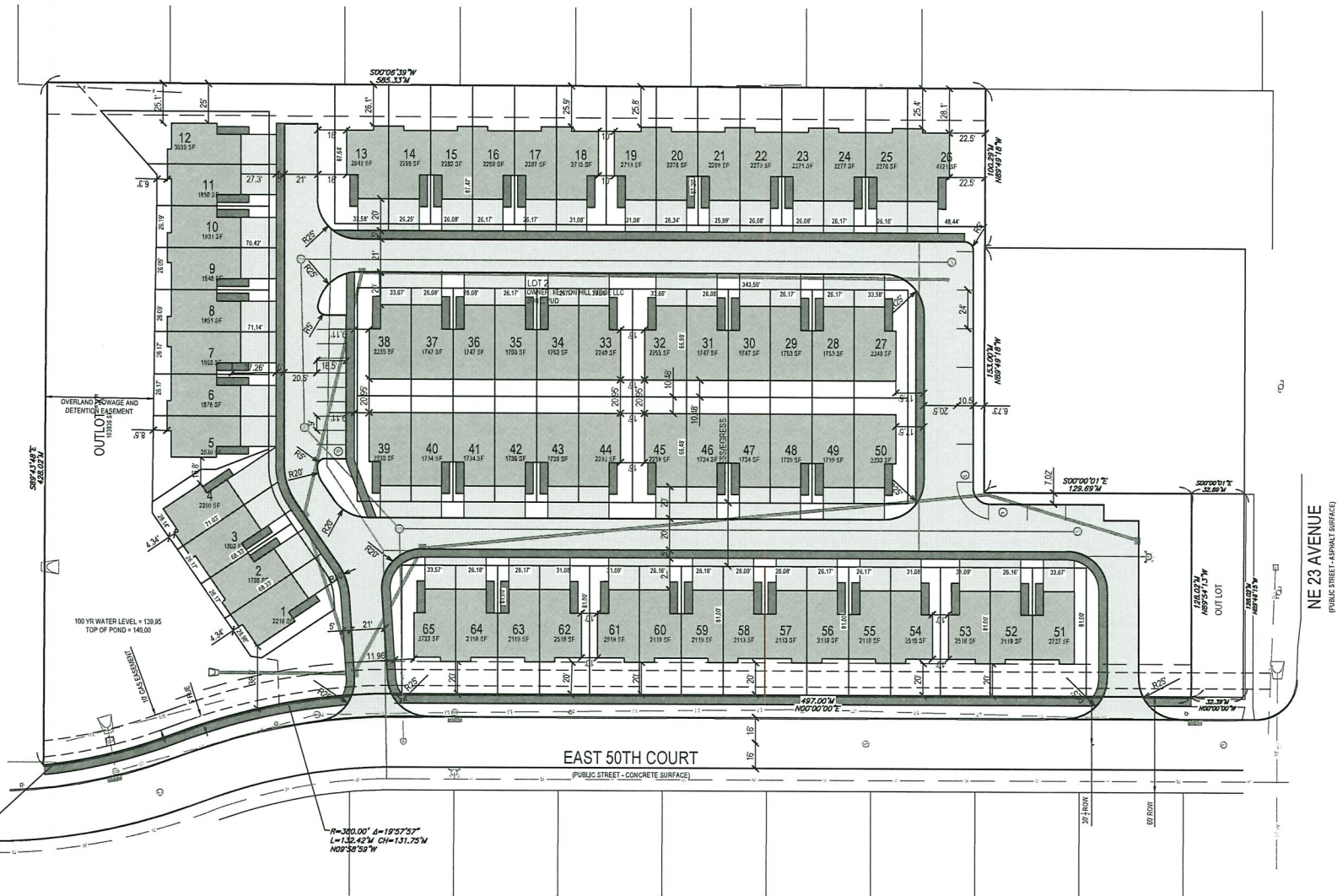
PROJECT NUMBER
170263-1
SHEET NUMBER
3 OF 6

RUBY ROSE RIDGE TOWNHOMES
GRADING PLAN

Bishop Engineering
"Planning Your Successful Development"
3501 104th Street
Des Moines Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying Established 1959

PRELIMINARY- NOT FOR CONSTRUCTION

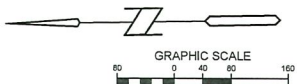
RUBY ROSE RIDGE PLANNED UNIT DEVELOPMENT



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

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RUBY ROSE RIDGE TOWNHOMES

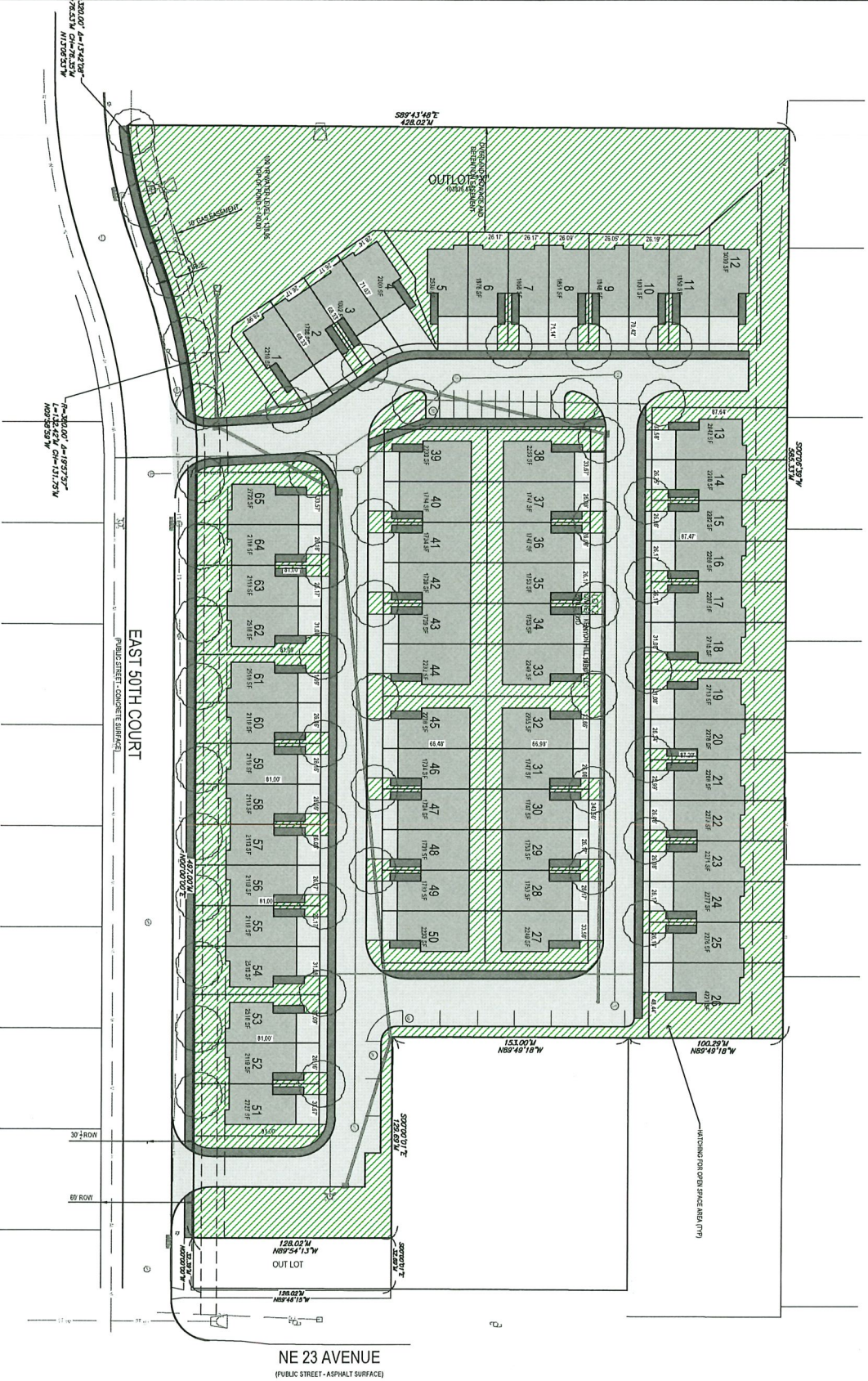
UTILITIES PLAN

REFERENCE NUMBER:	
DRAWN BY:	DRL
CHECKED BY:	
REVISION DATE:	
PROJECT NUMBER:	170263-1
SHEET NUMBER:	4 OF 6

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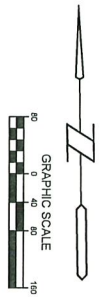
9/20/2021 7:26:16 AM MLAND PROJECTS 20171110253-10V02PUP CL LAYOUT AND UTILITIES.DWG

RUBY ROSE RIDGE PLANNED UNIT DEVELOPMENT



UTILITY NOTE: UTILITIES INDICATED ON THIS PLAN HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND HAS PROVIDED BY OTHER SURVEY PARTY LOCATIONS HAVE BEEN FIELD CENTERED BY SURVEY ONLY. ENGINEER'S RESPONSIBILITY IS TO VERIFY THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN BE THE BEST OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN TO OWN OR CALL FOR UTILITY PROVIDERS TO VERIFY LOCATION AND DEPTH OF UTILITIES IN THE FIELD.

CONDUCTED FOR THIS PROJECT. THE ENGINEER HAS THE RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN TO OWN OR CALL FOR UTILITY PROVIDERS TO VERIFY LOCATION AND DEPTH OF UTILITIES IN THE FIELD.



RUBY ROSE RIDGE TOWNHOMES

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PROJECT NUMBER: 170263-1
 SHEET NUMBER: 5 OF 6

PRELIMINARY- NOT FOR CONSTRUCTION

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ELEVATIONS

REFERENCE NUMBER:

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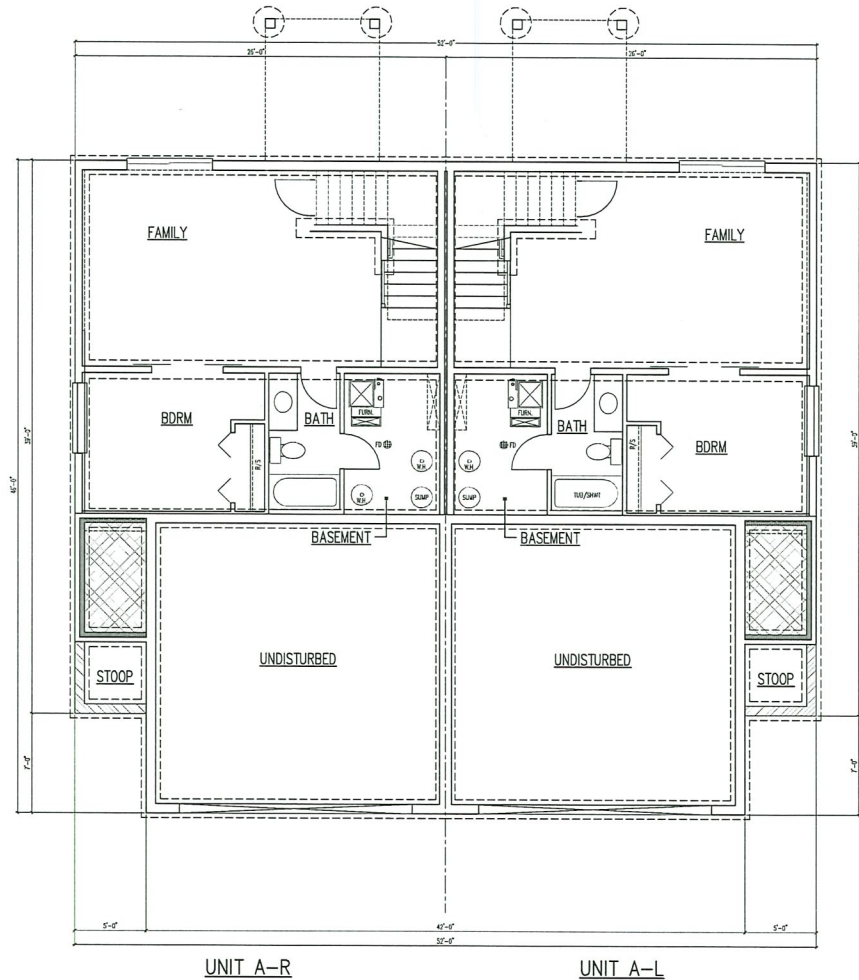
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PROJECT NUMBER:

170263-1

SHEET NUMBER:

6 OF 6



BASEMENT PLAN
SCALE: 1/4"=1'-0"

TYPICAL NOTES:

2012 INTERNATIONAL RESIDENTIAL CODE

1. TYPICAL CONSTRUCTION ASSEMBLIES
 - A. EXIST. CONSTRUCTION
 - 1. EXISTING BRICK SPINDLES ON JOIST FELT ON 1/2" OSB ROOF SHEATHING.
 - 2. 5" FIVE RESERVE FINISHED ROOF SHEATHING REQUIRED ON ROOF FRAMING WHEREAS AS NOTED ON ROOF PLANS.
 - 3. CEILING: FRAMING 1" x 4" SIPS ON 1/2" OSB ROOF BOARD.
 - 4. FLOOR: FRAMING 2" x 4" SIPS ON 1/2" OSB ROOF BOARD OR 1/2" CEILING OSB BOARD.
 - B. EXISTING WALL CONSTRUCTION
 - 1. 2" x 4" SIPS ON CEILING OR ELEVATIONS ON HOUSE WRAP OVER EXTERIOR WALL SHEATHING AS NOTED BELOW.
 - 2. 7/8" OSB ON FLOOR ELEVATION WALLS.
 - 3. ROOF FLOOR SHEATHING ON SIDE AND REAR WALLS.
 - 4. 7/8" OSB ON FACE OF ALL GABLES.
 - 5. 7/8" OSB ON ALL HOSE AND OUTSIDE CORNERS.
 - 6. INTERIOR: 1/2" OSB WALL BOARD OVER 4 MIL POLY. VAPOR BARRIER.
 - C. EXTERIOR FINISHES:
 - 1. SHAKE WATER OVER HOUSE WRAP ON 7/8" OSB BRICK VENER BY ANCHORS TIED TO S.C. HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 7/8" OSB.
 - D. EXTERIOR CONSTRUCTION
 1. SOIL REMEDIATION ASSEMBLY
 - 1. PARALLEL: FLOOR FINISH OR WALLS FRAMED 1" x 4" AND SPACED 2' APART (FRAME DIVISION) WITH 1 LAYER OF 5/8" TYPE "X" OSB WALLBOARD ON EACH FACE OF EACH WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERLIE OF ROOF DECK. (SEE DETAIL SHEET 04).
 2. SOIL REMEDIATION ASSEMBLY
 - 1. PARALLEL: FLOOR FINISH OR WALLS FRAMED 1" x 4" AND SPACED 2' APART (FRAME DIVISION) WITH 1 LAYER OF 5/8" TYPE "X" OSB WALLBOARD ON EACH FACE OF EACH WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERLIE OF ROOF DECK. (SEE DETAIL SHEET 04).
 - E. EXTERIOR FLOOR CONSTRUCTION
 - 1. FLOOR FINISHING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON EXISTING FLOOR TRUSSES OR AS NOTED (SEE AND SPACING AS NOTED ON FLOOR PLANS).
 - 2. WITH FLOOR FINISHING: 5/8" OSB ROOF BOARD OR 1/2" CEILING OSB BOARD.
 - 3. FRAMING 2" x 4" SIPS ON 1/2" OSB ROOF BOARD OR 1/2" CEILING OSB BOARD.
 - 4. FRAMING 1" x 4" SIPS ON 1/2" OSB ROOF BOARD.

2. WINDOWS
 - A. TYPICAL HEAD HEIGHTS FOR WINDOWS TO BE 6'-11 1/2" U/L/A.
 - B. WINDOW HEADS NOTED ON EXTERIOR ELEVATIONS.
 - C. SILLING HEIGHTS NOTED ON PLANS AS SHOWN.
 - D. SILLING HEIGHTS NOTED ON PLANS AS SHOWN.
 - E. WINDOW HEADS NOTED ON PLANS AS SHOWN.
3. DOORS
 - A. TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11" U/L/A.
 - B. WINDOW HEADS NOTED ON EXTERIOR ELEVATIONS.
 - C. SILLING HEIGHTS NOTED ON PLANS AS SHOWN.
 - D. SILLING HEIGHTS NOTED ON PLANS AS SHOWN.
 - E. WINDOW HEADS NOTED ON PLANS AS SHOWN.

4. STAIRS
 - A. STAIRS TO BE NOTED IN PLAN ON FLOOR PLANS, U/L/A.
 - B. TYPICAL HEAD HEIGHT FOR STAIRS TO BE 6'-11" U/L/A.
 - C. STAIR HEADS NOTED ON EXTERIOR ELEVATIONS.
 - D. STAIR HEADS NOTED ON PLANS AS SHOWN.
 - E. STAIR HEADS NOTED ON PLANS AS SHOWN.

AREA SCHEDULE	
UNIT A - RBL	
MAIN LIVING AREA	704
UPPER LIVING AREA	1576
TOTAL LIVING AREA	1780
BASEMENT FINISHED	580
BASEMENT UNFINISHED	76
CARAGE	428
TOTAL ALL AREAS	2872

AREA SCHEDULE	
UNIT B - INT - RBL	
MAIN LIVING AREA	704
UPPER LIVING AREA	1552
TOTAL LIVING AREA	1756
BASEMENT FINISHED	580
BASEMENT UNFINISHED	76
CARAGE	428
TOTAL ALL AREAS	2858

ALL EXTERIOR FRAMING DIMENSIONS INCLUDE 1/2" INSUL. WALL SHEATHING.
ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS.
FIELD ALL DOOR AND WINDOW HEADS OPENINGS & WALL TYPES INTERFERING WALLS TO ALLOW FOR TRIM.

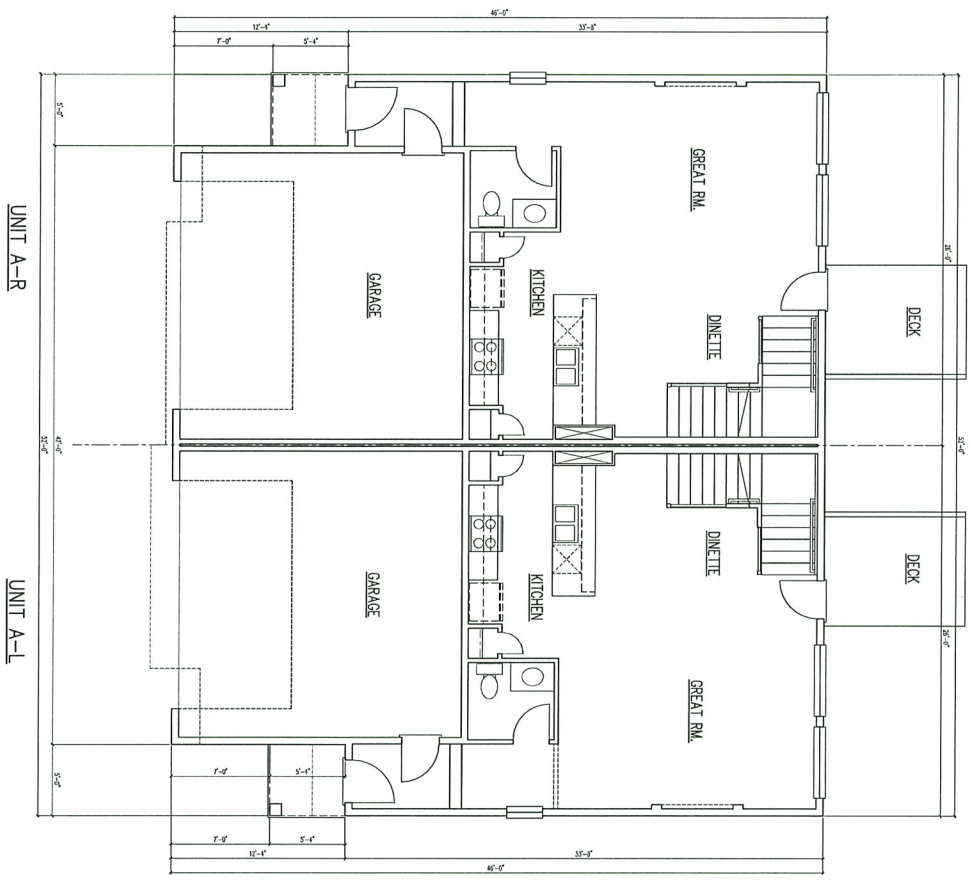
ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS OR JOIST MANUFACTURER

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Waterford Creek TH. - 2 Plex 3 BR
15315 and 15317 Golden Rod Urbandale, IA

Builder: JOHN LARSON DEVELOPMENT
[515] 664-2582
Project No: 3060120
Date: 04.12.21
Drawn By: SP
Revised: 04.14.21
Sheet Title: CLUSTER
Basement Plan
Sheet No: C1.1



MAIN FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL NOTES

1. PER ALL CONSTRUCTION REQUIREMENTS
2. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES
3. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES
4. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES
5. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES
6. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES
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8. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES
9. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES
10. SEE ARCHITECTURAL DRAWINGS FOR ALL FINISHES

AREA SCHEDULE	
UNIT A - R/L	1750
UNIT B - R/L	1750
TOTAL UNIT AREA	3500
TOTAL GARAGE AREA	1750
TOTAL COMMON AREA	1750
TOTAL AREA	7000

AREA SCHEDULE	
UNIT A - R/L	1750
UNIT B - R/L	1750
TOTAL UNIT AREA	3500
TOTAL GARAGE AREA	1750
TOTAL COMMON AREA	1750
TOTAL AREA	7000

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2018 IBC AND ALL APPLICABLE CODES.
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2018 IBC AND ALL APPLICABLE CODES.
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ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS OR JOIST MANUFACTURER

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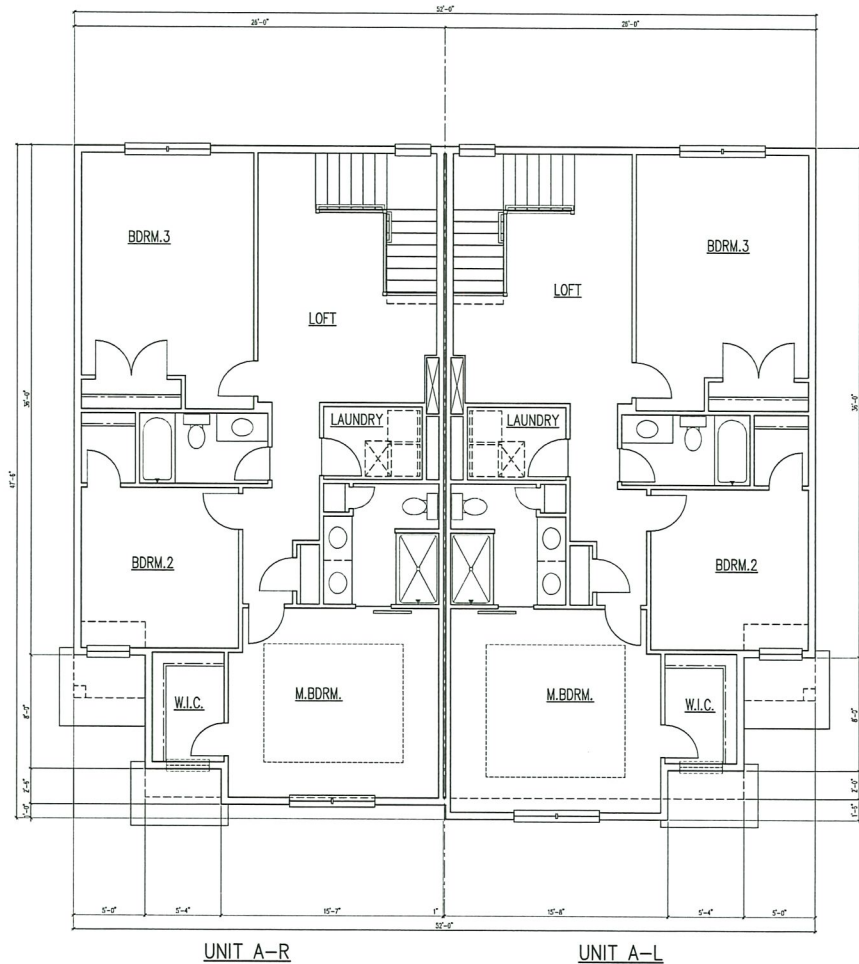
Waterford Creek TH. - 2 Plex 3 BR

15315 and 15317 Golden Rod Urbandale, IA

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UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"

TYPICAL NOTES:
2012 INTERNATIONAL RESIDENTIAL CODE

- 1. TYPICAL CONSTRUCTION ASSUMPTIONS
- A. SOLE CONSTRUCTION:
 - CONCRETE FLOOR FINISHES ON JOI FELT ON 1/2" OSB ROOF SHEATHING.
 - IF THE EXISTING IS UNDER ROOF SHEATHING REFERRED TO AS FLOOR FINISHES AS NOTED ON FLOOR PLANS.
 - FRAMING 14" O.C. = 1/2" OSB ROOF SHEATHING
 - FRAMING 24" O.C. = 5/8" OSB ROOF SHEATHING ON 1/2" CEILING OSB SHEATHING
- B. EXTERIOR WALL CONSTRUCTION:
 - 100% AS NOTED ON ELEVATIONS ON HOUSE WEEP OVER 7/8" OSB ON FRON ELEVATION, UNLESS NOTED OTHERWISE.
 - ROOF FLOOR SHEATHING ON SIDE AND REAR WALLS
 - 7/8" OSB ON FACE OF ALL WALLS
 - 7/8" OSB ON ALL ROOF AND OUTSIDE CORNERS
 - OUTSIDE 1/2" OSB WALL BOARD OVER 4 MIL POLY VAPOR BARRIER
- C. EXTERIOR WINDOWS:
 - SHAKE WATER OVER HOUSE WEEP ON 7/8" OSB UNDER WINDOW W/ SLOPES 1/2" PER 10" HORIZONTAL & VERTICAL OVER HOUSE WEEP ON 7/8" OSB
- D. CEILING CONSTRUCTION:
 - 1. 2" PARALLEL 1x6R RAFTERS ON WALLS FRAMED 16" O.C. AND SPACED 2' APART (FRAME DIMENSION WITH 1 LAYER OF 5/8" PLY. 1/2" OSB NAILED ON EACH FACE OF EACH WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERLIE OF ROOF DECK. (SEE DETAIL SHEET 01) CONCRETE SLAB WITH CONSTRUCTION.
 - 2. 2" PARALLEL 1x6R RAFTERS ON WALLS FRAMED 16" O.C. AND SPACED 2' APART (FRAME DIMENSION WITH 1 LAYER OF 5/8" PLY. 1/2" OSB NAILED ON EACH FACE OF EACH WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERLIE OF ROOF DECK. (SEE DETAIL SHEET 01) CONCRETE SLAB WITH CONSTRUCTION.
- E. CEILING FLOOR CONSTRUCTION:
 - 1. FLOORING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON DIMENSIONED FLOOR TRUSSES OR AS NOTED (SEE AND SPACING AS NOTED ON FLOOR PLANS)
 - WHEN FLOOR TRUSSES: 5/8" OSB OSB BOARD ON 1/2" CEILING OSB BOARD
 - FRAMING 14" O.C. = 5/8" OSB OSB BOARD ON 1/2" CEILING OSB BOARD
 - FRAMING 16" O.C. = 1/2" OSB OSB BOARD
- F. WINDOWS:
 - ROUGH OPENING OF WINDOWS TO BE NOTED IN F.T.A.N. ON FLOOR PLANS, UNLESS NOTED OTHERWISE.
 - TYPICAL LEAD HEADS FOR WINDOWS TO BE 6'-11" U.L.G.
- G. EXTERIOR FINISHES:
 - A. EXTERIOR FINISHES:
 - 1. 2" PARALLEL 1x6R RAFTERS ON WALLS FRAMED 16" O.C. AND SPACED 2' APART (FRAME DIMENSION WITH 1 LAYER OF 5/8" PLY. 1/2" OSB NAILED ON EACH FACE OF EACH WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERLIE OF ROOF DECK. (SEE DETAIL SHEET 01) CONCRETE SLAB WITH CONSTRUCTION.
- H. DOORS:
 - 1. DOOR SIZES NOTED ON FLOOR PLANS IN F.T.A.N. ON FLOOR PLANS, UNLESS NOTED OTHERWISE.
 - TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11"
 - A. WOOD, JAMB, AND CASING:
 - ROUGH OPENING FOR WOOD DOORS TO BE 2" WIDER THAN DOOR SIZES NOTED ON PLANS. BR-HIDE DOORS TO BE 2-1/2" WIDER THAN DOOR SIZES NOTED ON PLANS.
 - ROUGH OPENING FOR BR-HIDE DOORS TO BE 1" WIDER THAN DOOR SIZES NOTED ON PLANS.
 - B. CEILING DOOR FINISHES:
 - ROUGH OPENING FOR BR-HIDE DOORS TO BE SAME AS DOOR SIZES NOTED ON PLANS.
 - ROUGH OPENING FOR BR-HIDE DOORS TO BE 1-1/4" WIDER THAN DOOR SIZES NOTED ON PLANS.

AREA SCHEDULE	
UNIT A - RAL	
MAIN LIVING AREA	704
UPPER LIVING AREA	1076
TOTAL LIVING AREA	1780
BASEMENT FINISHED	590
BASEMENT UNFINISHED	76
CARAGE	426
TOTAL ALL AREAS	2872

AREA SCHEDULE	
UNIT B - INT - RAL	
MAIN LIVING AREA	704
UPPER LIVING AREA	1092
TOTAL LIVING AREA	1796
BASEMENT FINISHED	590
BASEMENT UNFINISHED	76
CARAGE	426
TOTAL ALL AREAS	2888

ALL EXTERIOR FRAMING DIMENSIONS INDICATE 1/2" ROOF WALL SHEATHING
ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED BY PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS
4-1/2" ALL DOOR AND WINDOW HEADS OPENINGS 5" (MIN.) FROM INTERFERING WALLS TO ALLOW FOR TRIM

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS OR JOIST MANUFACTURER

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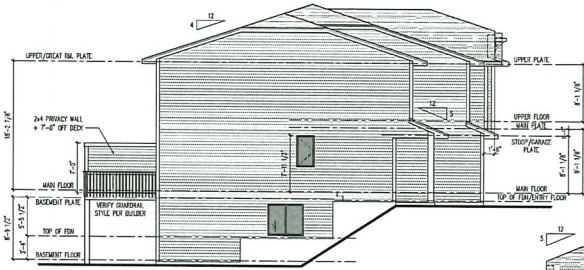
PROJECT NO. 36093207
DATE: 04.12.21
DRAWN BY: SP
REVISIONS: 04.14.21

Waterford Creek TH. - 2 Plex 3 BR
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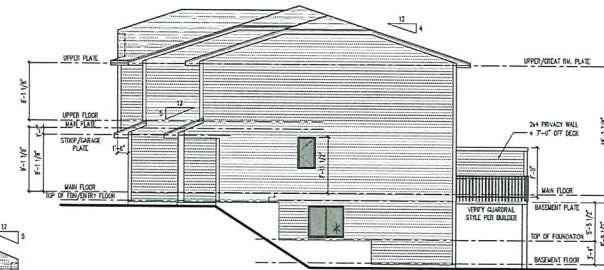
Builder:
JOHN LARSON DEVELOPMENT
(515) 664.2882
Project No.: 36093207
Date: 04.12.21
Drawn By: SP
Revisions: 04.14.21

Sheet Title:
CLUSTER
UPPER FLOOR PLAN

Sheet No.:
C-3.1



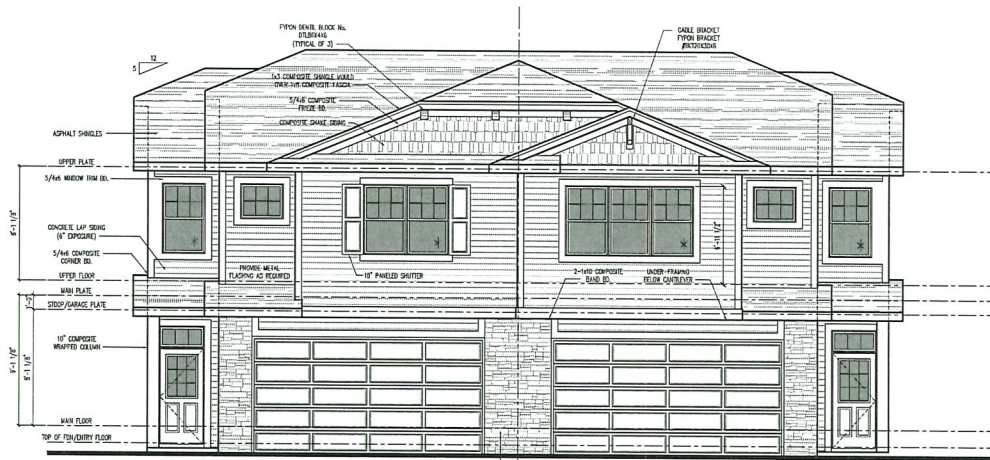
**UNIT A-R
LEFT ELEVATION**
SCALE: 1/8"=1'-0"



**UNIT A-L
RIGHT ELEVATION**
SCALE: 1/8"=1'-0"



**UNIT A-L UNIT A-R
REAR ELEVATION**
SCALE: 1/8"=1'-0"



WALL SHEATHING ON ALL ELEVATIONS SHALL BE 1/2" G.S.B., G.A.S.

WINDOWS SO NOTED MUST EXCEED APPLICABLE EGRESS REQUIREMENTS *

UNDER-FRAME BOTTOM OF GARAGE TO MATCH BOTTOM OF GARAGE ROOF SOffit

STONE FINISH

VERIFY ALL EXTERIOR DOOR SIZES FOR BUILDER

UNIT A-R

UNIT A-L

FRONT ELEVATION
SCALE: 1/4"=1'-0"

TYPICAL NOTES:

2012 INTERNATIONAL RESIDENTIAL CODE:

1. TYPICAL CONSTRUCTION ASSEMBLIES
- A. **BASE CONSTRUCTION:**
COMPOSITE ROOF SHEATHING ON JOIST FILLS ON 1/2" OSB ROOF SHEATHING.
1" FIRE RESISTIVE PLUMBED BATT SHEATHING RESTING ON ROOF FRAMING MEMBERS AS NOTED ON ROOF PLANS.
FRAMED 1" O.C. = 1/2" OSB BOARD
FRAMED 1" O.C. = 1/2" OSB BOARD ON 1/2" CEILING OSB BOARD
- B. **EXTERIOR WALL CONSTRUCTION:**
OSB (AS NOTED ON ELEVATIONS) ON HOUSE WRAP OVER EXTERIOR WALL SHEATHING AS NOTED BELOW.
1/2" OSB ON FRONT ELEVATION, SIDS
ROOF FRAM SHEATHING ON SID AND REAR WALLS
7/8" OSB ON FACE OF ALL GABLES
7/8" OSB ON ALL HOZE AND OUTSIDE CORNERS
INTERIOR 1/2" OSB WALL BOARD OVER 4" INS. POLY. WOOD SHIMMER
- C. **EXTERIOR SIDING:**
STONE VENEER OVER HOUSE WRAP ON 7/8" OSB BRICK VENEER W/ AIRWAYS 1/2" O.C. - HORIZONTAL & VERTICAL OVER HOUSE WRAP ON 7/8" OSB
CONSIDERABLE CONSTRUCTION
2. SIDE TILE RESISTIVE ASSEMBLY
- D. **PARALLEL 1" HOUR RATED 2x4 WALLS FRAMED 16" O.C. AND SPACED 2" APART (FRAME EXTENSION) WITH 1 LAYER OF 5/8" TYPE "X" OSB WALLBOARD ON EACH FACE OF LOAD WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERSIDE OF ROOF JOIST. (SEE DETAIL SHEET 01)**
COMMON GABLE WALL CONSTRUCTION
- E. **PARALLEL 1" HOUR RATED 2x4 WALLS FRAMED 16" O.C. AND SPACED 2" APART (FRAME EXTENSION) WITH 1 LAYER OF 5/8" TYPE "X" OSB WALLBOARD ON EACH FACE OF LOAD WALL. MAINTAIN SEPARATION FROM TOP OF FOUNDATION TO UNDERSIDE OF ROOF JOIST. (SEE DETAIL SHEET 01)**
SHEATHING AND GABLE FRAM CONSTRUCTION
- F. **CONCRETE GARB FINISHES OR CONCRETE GRANULAR FILL**
- G. **CEILING FLOOR CONSTRUCTION:**
FLOOR FINISHING (AS NOTED ON FLOOR PLANS) ON 3/4" FLOOR SHEATHING ON DIMENSIONED FLOOR TRUSSES OR AS NOTED (SIZE AND SPACING AS NOTED ON FLOOR PLANS)
MAIN FLOOR CEILING: 1/2" OSB BOARD ON 1/2" CEILING OSB BOARD
FRAMED 16" O.C. - 5/8" OSB BOARD ON 1/2" CEILING OSB BOARD
FRAMED 16" O.C. - 1/2" OSB BOARD

2. **WINDOWS:**
ROUGH OPENING OF WINDOWS TO BE NOTED IN FT./IN. ON FLOOR PLANS, S.I.D.
TYPICAL HEAD HEIGHTS FOR WINDOWS TO BE 4'-11 1/2", UNLS.
A. **CASINGED WINDOWS:**
WINDOW FINISH NOTED ON EXTERIOR ELEVATIONS
B. **SLIDING WINDOWS:**
NOTED ON PLANS AS SL
C. **DOUBLE HUNG WINDOWS:**
NOTED ON PLANS AS SH
D. **DOUBLE HUNG WINDOWS:**
NOTED ON PLANS AS DH

3. **DOORS:**
DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN. ON FLOOR PLANS, S.I.D.
TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11" UNLS. MINUS JAMB AND CASING
A. **ROUGH OPENING FOR HINGED DOORS TO BE 2" WIDER THAN DOOR SIZES NOTED ON PLANS. B-HINGED DOORS TO BE 2-1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.**
ROUGH OPENING FOR B-PASS DOORS TO BE 1" WIDER THAN DOOR SIZE NOTED ON PLANS.
B. **DOUBLE HUNG WINDOWS:**
ROUGH OPENING FOR B-PASS DOORS TO BE SAME AS DOOR SIZE NOTED ON PLANS.
ROUGH OPENING FOR B-PASS DOORS TO BE 1-1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

ALL EXTERIOR FRAM DIMENSIONS INCLUDE 1/2" WOOD WALL SHEATHING
ADJUST PLACEMENT OF FRAMING MEMBERS AS RELIANT TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEMS
FIELD ALL STUDY AND WINDOW DOORS 3" (MIN) FROM INTERSECTING WALLS TO ALLOW FOR TRIM

ALL STRUCTURE AND BEAMS TO BE SIZED BY TRUSS OR JOIST MANUFACTURER

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Waterford Creek TH. - 2 Plex 3 BR
15315 and 15317 Golden Rod Urbandale, IA

Builder: JOHN LARSON DEVELOPMENT
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Project No.: 32601320
Date: 04.12.21
Drawn By: SP
Revisions: 04.14.21

Sheet Title: EXTERIOR ELEVATIONS

Sheet No.: C4.1