



.....
Date September 13, 2021

RESOLUTION SETTING HEARING ON REQUEST FROM EASTGATE PLAZA, LLC AND NET LEASE DEVELOPMENT, LLC FOR THE 6TH AMENDMENT TO THE EASTGATE PLAZA PUD CONCEPTUAL PLAN FOR PROPERTY LOCATED IN THE VICINITY OF 1500 EAST EUCLID AVENUE

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on September 2, 2021, its members voted 10-0 in support of a motion to recommend **APPROVAL** of a request from Eastgate Plaza, LLC (owner), represented by Norman Weinstein (officer), and from Net Lease Development, LLC (purchaser), represented by Mark Huonder (officer), for the 6th Amendment to the Eastgate Plaza Planned Unit Development (PUD) Conceptual Plan for property located in the vicinity of 1500 East Euclid Avenue (“Property”), to allow a 2.09-acre portion of the Property along East Euclid Avenue frontage to be developed with a 2,977 square-foot fast-food drive-through restaurant and a 6,972 square-foot multiple-tenant commercial building, subject to the following modifications:

- 1) Provision of a note that states that the easterly north/south driveway (to the east of the proposed multiple-tenant commercial building) shall be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.
- 2) Provision of a note that states the multiple-tenant commercial building and surrounding site configuration shall be subject to a future amendment to the “PUD” Conceptual Plan.
- 3) Provision of a note that states any building shall not be located within any necessary utility easement.
- 4) Provision of a note that states that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.
- 5) Provision of a note that states that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.
- 6) Provision of a note that states that landscaping shall be provided in accordance with Chapter 135, Planning and Design Ordinance.
- 7) Provision of a note that states that continuous row of shrubs or grasses shall be provided along the west side of the drive-through facility.
- 8) Provision of a note that states that a 3-foot tall decorative wrought iron fence, supported by brick columns that match the primary structure, shall be constructed along the south frontage and that perimeter plantings required by the landscape standards shall be provided between the fence and the southerly property line.
- 9) Provision of a note that states that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a “Major Façade Material” prohibiting EIFS materials, as regulated in Des Moines Municipal Code Chapter 135.
- 10) Provision of a note that states that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.

Date September 13, 2021

- 11) Provision of a note that states that all mechanical equipment, roof top units, condensers, meters, transformers or other such equipment shall be provided, including the undergrounding of all overhead utilities whenever reasonably practicable, in accordance with Chapter 135, Planning and Design Code.
- 12) Provision of a note that states that all site and building mounted lighting shall be provided in accordance with Chapter 135, Planning and Design Code.
- 13) Provision of a note that states that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.
- 14) Any freestanding signage shall be a monument sign having a minimum 2-foot tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited; and

WHEREAS, the Property is legally described as follows:

A tract of land lying in part of Lot 13 of Brown’s Lowland Place, City of Des Moines, Polk County, Iowa, beginning at a found mag nail at the southeast corner of parcel D recorded in Book 15975, Page 592; thence along the east line of said parcel D N00°-11'-10"E 259.14 ft. to a set iron rod; thence leaving said east line S89°-46'-58"E 353.19 ft. to a set iron rod; thence S00°-07'-49"W 257.15 ft. to set iron rod on the north right of way line of East Euclid Avenue; thence along said north line S89°-53'-38"W 353.45 ft. to the point of beginning. Containing 2.09 acres.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed 6th Amendment to the Eastgate Plaza PUD Conceptual Plan is to be considered shall be held in the Council Chambers, City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa, at 5:00 p.m. on October 4, 2021, at which time the City Council will hear both those who oppose and those who favor the proposal.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

FORM APPROVED:

MOVED BY _____ TO ADOPT.

/s/ Glenna K. Frank
 Glenna K. Frank, Assistant City Attorney

(ZON2021-000013)

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED

APPROVED

 Mayor

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

 City Clerk

September 3, 2021

Communication from the City Plan and Zoning Commission advising that at their September 2, 2021 meeting, the following action was taken regarding a request from Eastgate Plaza, LLC (owner), represented by Norman Weinstein (officer) and Net Lease Development, LLC (purchaser), represented by Mark Huonder (officer), for review and approval of a 6th amendment to the Eastgate Plaza PUD Conceptual Plan on property located in the vicinity of 1500 East Euclid Avenue, to allow development of a 2.09-acre parcel with a restaurant building with a drive-up window and a multiple-tenant commercial building.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 10-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles				X
Abby Chungath	X			
Kayla Berkson	X			
Chris Draper	X			
Jann Freed	X			
Todd Garner	X			
Johnny Alcivar	X			
Lisa Howard				X
Carolyn Jenison	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace				X
Greg Wattier				X
Emily Webb	X			

APPROVAL of the proposed amendment to the Eastgate Plaza “PUD” Conceptual Plan, subject to the following modifications:

- 1) Provision of a note that states that the easterly north/south driveway (to the east of the proposed multiple-tenant commercial building) shall be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.

- 2) Provision of a note that states the multiple-tenant commercial building and surrounding site configuration shall be subject to a future amendment to the "PUD" Conceptual Plan.
- 3) Provision of a note that states any building shall not be located within any necessary utility easement.
- 4) Provision of a note that states that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.
- 5) Provision of a note that states that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.
- 6) Provision of a note that states that landscaping shall be provided in accordance with Chapter 135: Planning and Design Ordinance.
- 7) Provision of a note that states that continuous row of shrubs or grasses shall be provided along the west side of the drive-through facility.
- 8) Provision of a note that states that a 3-foot tall decorative wrought iron fence, supported by brick columns that match the primary structure, shall be constructed along the south frontage and that perimeter plantings required by the landscape standards shall be provided between the fence and the southerly property line.
- 9) Provision of a note that states that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a "Major Façade Material" prohibiting EIFS materials, as regulated in City Code Chapter 135.
- 10) Provision of a note that states that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.
- 11) Provision of a note that states that all mechanical equipment, roof top units, condensers, meters, transformers or other such equipment shall be provided, including the undergrounding of all overhead utilities whenever reasonably practicable, in accordance with Chapter 135: Planning and Design Code.
- 12) Provision of a note that states that all site and building mounted lighting shall be provided in accordance with Chapter 135: Planning and Design Code.
- 13) Provision of a note that states that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.
- 14) Any freestanding signage shall be a monument sign having a minimum 2-foot tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited. (ZONG-2021-000013)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed amendment to the Eastgate Plaza "PUD" Conceptual Plan, subject to the following modifications:

- 1) Provision of a note that states that the easterly north/south driveway (to the east of the proposed multiple-tenant commercial building) shall be constructed to appear to be street to the satisfaction of the City's Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.
- 2) Provision of a note that states the multiple-tenant commercial building and surrounding site configuration shall be subject to a future amendment to the "PUD" Conceptual Plan.
- 3) Provision of a note that states any building shall not be located within any necessary utility easement.
- 4) Provision of a note that states that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.
- 5) Provision of a note that states that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.
- 6) Provision of a note that states that landscaping shall be provided in accordance with Chapter 135: Planning and Design Ordinance.
- 7) Provision of a note that states that continuous row of shrubs or grasses shall be provided along the west side of the drive-through facility.
- 8) Provision of a note that states that a 3-foot tall decorative wrought iron fence, supported by brick columns that match the primary structure, shall be constructed along the south frontage and that perimeter plantings required by the landscape standards shall be provided between the fence and the southerly property line.
- 9) Provision of a note that states that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a "Major Façade Material" prohibiting EIFS materials, as regulated in City Code Chapter 135.
- 10) Provision of a note that states that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.
- 11) Provision of a note that states that all mechanical equipment, roof top units, condensers, meters, transformers or other such equipment shall be provided, including the undergrounding of all overhead utilities whenever reasonably practicable, in accordance with Chapter 135: Planning and Design Code.
- 12) Provision of a note that states that all site and building mounted lighting shall be provided in accordance with Chapter 135: Planning and Design Code.

- 13) Provision of a note that states that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.
- 14) Any freestanding signage shall be a monument sign having a minimum 2-foot tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed amendment to the Eastgate “PUD” Conceptual Plan would allow a 2.09-acre portion of the “PUD” along East Euclid Avenue frontage to be developed with a 2,977-square foot fast food restaurant with a drive-through and a 6,972-square-foot multiple-tenant commercial building. The proposed “PUD” Conceptual Plan demonstrates that the fast-food restaurant would be located on the western portion of the 2.09-acre area (adjacent to Quik Trip) and the multiple-tenant commercial building would be on the eastern portion. The site would be accessed from two driveways from East Euclid Avenue and an internal driveway from the existing convenience store to the west and office building to the east. The “PUD” Conceptual Plan also provides cross-access through the property to the north and east and west within the overall Eastgate Plaza “PUD” District.

There is a substantial undeveloped area within the Eastgate Plaza “PUD” District immediately to the north of proposed amendment. It is expected that the future redevelopment of this area will utilize the easterly north/south driveway. Therefore, Staff recommends that the easterly north/south driveway be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.

The proposed “PUD” Conceptual does not provide character elevations for the proposed multiple-tenant commercial building. Therefore, Staff recommends that a note be added to state that this building and surrounding site configuration shall be subject to a future amendment to the “PUD” Conceptual Plan. This would also for sufficient review of the building prior to construction.

Future development of the site must be in accordance with a “PUD” Development Plan that complies with the requirements established in the “PUD” Conceptual Plan and with the Review Process of Chapter 135 of the Planning and Design Code.

2. **Size of Site:** The proposed amendment is on an area that measures approximately 91,040 square feet (2.09 acres) in area.
3. **Existing Zoning (site):** “PUD” Planned Unit Development District.
4. **Existing Land Use (site):** The property includes vacant pad sites with some paved area in disrepair that previously served as off-street parking.

5. Adjacent Land Use and Zoning:

North – “PUD”; Use is vacant land (formerly the Eastgate Plaza commercial center).

South – “MX3” and “I1”; Uses are a vacant drive-through restaurant and car rental facility (Enterprise Rental Car).

East – “PUD”; Use is medical office building (CareMore).

West – “PUD”; Use is a fuel station with convenience store (Quik Trip).

6. General Neighborhood/Area Land Uses: The site is located at the northeast corner of the intersection of East Euclid Avenue and East 14th Street. Both of these streets are major commercial corridors.

7. Applicable Recognized Neighborhood(s): The subject property is within the Highland Park Neighborhood. This neighborhood association was notified of the meeting by mailing of the Preliminary Agenda to all recognized neighborhoods on August 13, 2021. Additionally, separate notifications of the hearing for this specific item were mailed on August 13, 2021 (20 days prior) and August 23, 2021 (10 days prior to the scheduled hearing) to the Highland Park Neighborhood Association, and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Highland Park Neighborhood Association mailings was sent to Sherri Rosener, at 1206 Oak Park Ave, Des Moines, IA 50313.

The applicant is responsible for conducting a neighborhood meeting, inviting representatives of the Highland Park Neighborhood Association and surrounding property owners within 250 feet. The applicant will provide a summary of the meeting at the public hearing.

8. Relevant Zoning History: The subject property was rezoned to “PUD” on April 20, 1998, at which time a general “PUD” Conceptual Plan was adopted. On February 22, 2016, the City Council approved a “PUD” Conceptual Plan amendment for a 5,733 square foot convenience store with 16 fueling stations, and allowing the sale of alcoholic liquor, wine, beer and tobacco products insofar as sales do not cumulatively exceed 40% of overall sales derived on the site. This convenience store is currently in operation.

9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation: Community Mixed Use.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to

the City Council on conditions to be made in addition to the existing regulations so long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

The application, accompanying evidence and “PUD” Conceptual Plan shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of the City Code and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the amended “PUD” Conceptual Plan as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the Commission shall be referred to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage/Grading:** Future construction must comply with the City’s storm water management, soil erosion protection and grading requirements, as approved by the City’s Permit and Development Center’s Engineering Staff during the “PUD” Development Plan (Site Plan) review.
2. **Utilities:** The subject property has access to necessary utilities. There are both public storm and sanitary sewer crossing the site within easements. These affect the placement of the building and require that it be shifted east of the existing storm water facilities.
3. **Traffic/Connectivity:** The site would be accessed from two (2) driveways from East Euclid Avenue and an internal driveway from the existing convenience store to the west and from the existing medical office building to the east. Both the western drive entrance and the eastern drive entrance would align with existing median cuts in East Euclid Avenue. The “PUD” Conceptual Plan also provides cross-access through the property to the north and both east and within the overall Eastgate Plaza commercial center.

Staff recommends that the easterly north/south driveway be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.

Staff also recommends provision of a note to state that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.

4. **Off-Street Parking:** The City’s standard off-street parking requirement for eating and drinking places is 1 parking space per 150 square feet of building area and for retail sales / office uses is 1 parking space per 400 square feet of building area. This would require a minimum of 20 spaces for a 2,977-square foot fast food restaurant, 19 spaces for a 2,733-square foot restaurant and 11 parking spaces for retail use within a mixed-use building for a total of 50 spaces. The submitted Conceptual Plan includes 30 spaces for fast food restaurant and 45 parking spaces for mixed-use building for a total

of 75 parking spaces.

Staff recommends that a note be added to state that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.

- 5. Landscaping:** The proposed “PUD” Conceptual Plan demonstrates that landscaping and plantings are to be provided throughout the site and along the frontage.

Staff recommends that landscaping to be provided in accordance with Chapter 135: Planning and Design Ordinance and that a continuous row of shrubs or grasses be provided along the west side of the drive-through facility.

Staff also recommends provision of a 3-foot tall decorative wrought iron fence, supported by brick columns that match the primary structure, along the south frontage of the area and that perimeter plantings required by the landscape standards shall be provided between the fence and the south property lines.

- 6. Urban Design:** The proposed “PUD” Conceptual Plan demonstrates that the proposed fast-food restaurant building would be constructed to blend with the current surrounding building materials. It indicates that the building would be sided with a combination of stucco system, facebrick, and fiber cement panels.

Staff recommends that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a “Major Façade Material” prohibiting EIFS materials, as regulated in City Code Chapter 135 and that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.

The proposed “PUD” Conceptual does not provide character elevations for the proposed multiple-tenant commercial building. Therefore, Staff recommends that a note be added to state that this building and surrounding site configuration shall be subject to a future amendment to the “PUD” Conceptual Plan. This would also for sufficient review of the building prior to construction.

Staff recommends provision of a note stating that all mechanical equipment, roof top units, condensers, meters, transformers or other such equipment shall be provided, including the undergrounding of all overhead utilities, in accordance with Chapter 135: Planning and Design Code.

- 7. Lighting:** The proposed “PUD” Conceptual Plan demonstrates that a mixture of canopy, building-mounted, LED light bands, and pole lighting would be installed. Lighting should enhance safety and provide light levels appropriate to the visual task with minimal glare, light trespass and excess site brightness. Lighting should not be a nuisance or a hazard.

Staff recommends provision of a note stating that all lighting shall be provided in accordance with Chapter 135: Planning and Design Code.

- 8. Trash enclosure:** The “PUD” Conceptual Plan indicates that the trash enclosure color shall match the building. Staff recommends provision of a note stating that any refuse

collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.

9. **Signage:** The “PUD” Conceptual Plan proposes a pole sign and numerous building mounted signage. While the proposed wall signage is appropriate, Staff recommends that any freestanding signage shall be a monument sign having a minimum 2-foot-tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited.

SUMMARY OF DISCUSSION

Bert Drost stated the applicant for item #3 has agreed to staff recommendation and could be considered under the consent agenda.

Jann Freed made a motion to move item #3 to the consent agenda.

COMMISSION ACTION:

Todd Garner made a motion for approval of the proposed amendment to the Eastgate Plaza “PUD” Conceptual Plan, subject to the following modifications:

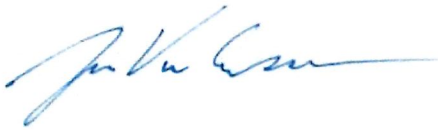
- 1) Provision of a note that states that the easterly north/south driveway (to the east of the proposed multiple-tenant commercial building) shall be constructed to appear to be street to the satisfaction of the City’s Planning Administrator, with features such as parallel parking stalls, Class A sidewalks, and street trees.
- 2) Provision of a note that states the multiple-tenant commercial building and surrounding site configuration shall be subject to a future amendment to the “PUD” Conceptual Plan.
- 3) Provision of a note that states any building shall not be located within any necessary utility easement.
- 4) Provision of a note that states that bike rack quantity, placement, and design shall be provided in accordance with Chapter 135: Planning and Design Code.
- 5) Provision of a note that states that pedestrian access to the adjoining parcels to the east, west, and north shall be provided in anticipation of future pedestrian connectivity and that all crosswalks across access drives shall be clearly striped as a pedestrian path.
- 6) Provision of a note that states that landscaping shall be provided in accordance with Chapter 135: Planning and Design Ordinance.
- 7) Provision of a note that states that continuous row of shrubs or grasses shall be provided along the west side of the drive-through facility.
- 8) Provision of a note that states that a 3-foot-tall decorative wrought iron fence, supported by brick columns that match the primary structure, shall be constructed

along the south frontage and that perimeter plantings required by the landscape standards shall be provided between the fence and the southerly property line.

- 9) Provision of a note that states that all stucco shown on the building elevations shall meet the standards necessary in order to be considered as a "Major Façade Material" prohibiting EIFS materials, as regulated in City Code Chapter 135.
- 10) Provision of a note that states that all brick shown on the building elevations shall be full-dimensional brick and not thin brick.
- 11) Provision of a note that states that all mechanical equipment, roof top units, condensers, meters, transformers or other such equipment shall be provided, including the undergrounding of all overhead utilities whenever reasonably practicable, in accordance with Chapter 135: Planning and Design Code.
- 12) Provision of a note that states that all site and building mounted lighting shall be provided in accordance with Chapter 135: Planning and Design Code.
- 13) Provision of a note that states that any refuse collection container will be within an enclosure constructed of masonry walls that match the primary building and steel gate with a pedestrian entrance.
- 14) Any freestanding signage shall be a monument sign having a minimum 2-foot-tall masonry base to match the structure and shall not exceed 8 feet in height. Any freestanding pole sign shall be prohibited.

Motion passed: 10-0

Respectfully submitted,

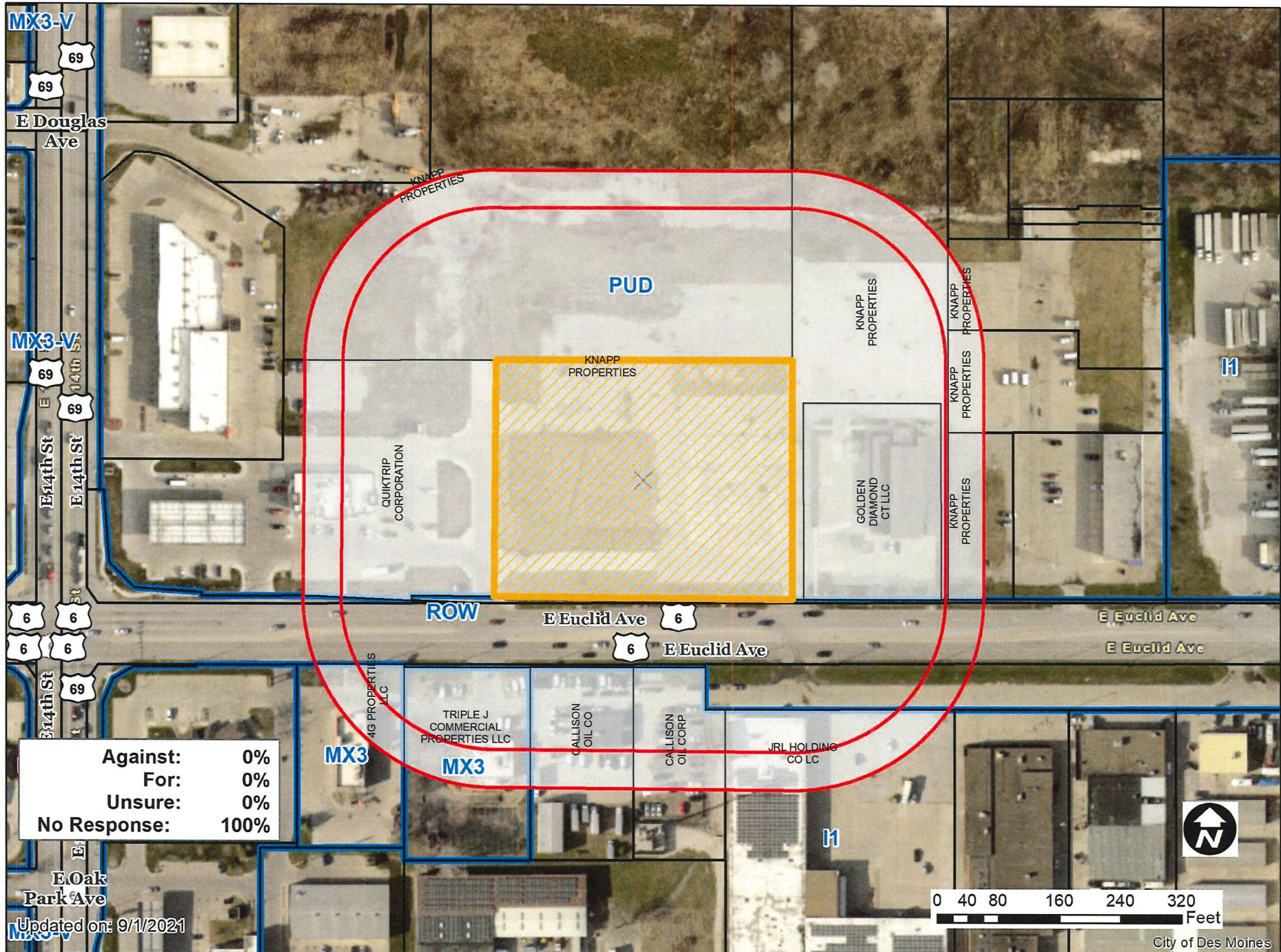


Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

Eastgate Plaza, LLC, 1500 East Euclid Avenue

ZONG-2021-000013



Against:	0%
For:	0%
Unsure:	0%
No Response:	100%

E Oak Park Ave
 Updated on: 9/1/2021

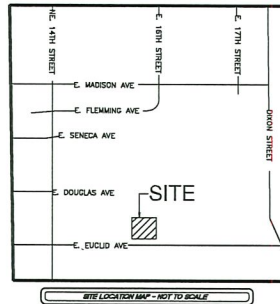
EASTGATE PUD CONCEPTUAL PLAN

1450 EAST EUCLID AVENUE

DES MOINES, POLK COUNTY, IOWA 50315



UTILITY/ GOVERNING AGENCIES CONTACTS	
GAS	MID AMERICAN GAS CONTACT: Craig Renfield PHONE: (515) 252-4622 EMAIL: macclandev@iowa.midamerican.com
TELEPHONE	CENTURY LINK CONTACT: Sodie Hull PHONE: (515) 547-0147 EMAIL: sodie.hull@centurylink.com
ELECTRIC	MID AMERICAN ELECTRIC CONTACT: Craig Renfield PHONE: (515) 252-4622 EMAIL: macclandev@iowa.midamerican.com
SEWERY SERVICES	CITY OF DES MOINES SEWER CONTACT: Steve Johnson PHONE: (515) 237-1336 EMAIL: sjohnson@desmoines.org
WATER	DES MOINES WATER WORKS CONTACT: Ed Clark PHONE: (515) 238-8244 EMAIL: edclark@desmoines.org
STORM SEWER	CITY OF DES MOINES SEWER CONTACT: Steve Johnson PHONE: (515) 237-1336 EMAIL: sjohnson@desmoines.org



SHEET INDEX	
SHEET TITLE	SHEET NUMBER
COVER SHEET	CS-1
TOPOGRAPHIC SURVEY	TS-1
SITE PLAN	SP-1
LANDSCAPE PLAN	LP-1
COLOR BUILDING ELEVATIONS	A-2
EXTERIOR MATERIALS & FINISHES	A-2.1
BUILDING SIGNAGE ELEVATION	---
SITE SIGNAGE PLAN	CSP 2.1
PYLON SIGN DETAIL	---

CAUTION-NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST REEL LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, CHAINS FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOC. OR OTHER UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATIONS TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING THIS PROJECT SITE, THIS PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL ALL THRU DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE EXISTING UTILITIES WHEN NECESSARY TO FACILITATE THE REQUIRED IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE EXISTING FACILITIES MANAGER AND BURGER KING'S CONSTRUCTION MANAGER.

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-222-6889 for utility location information.

The contractor shall verify and implement of the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved excavation regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
NOT TO BE USED FOR CONSTRUCTION

bfsang.com

TELEPHONE: (503) 239-4751



103 ELM STREET WASHINGTON, MISSOURI 63090



DES MOINES, IOWA
Net Lease Development LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS

No.	By	App.
1		
2		
3		
4		

DRAWN

B.L.F.

CHECKED

R.C.R.

DATE

07/27/21

SCALE

NONE

JOB No.

5453

SHEET NAME

COVER SHEET

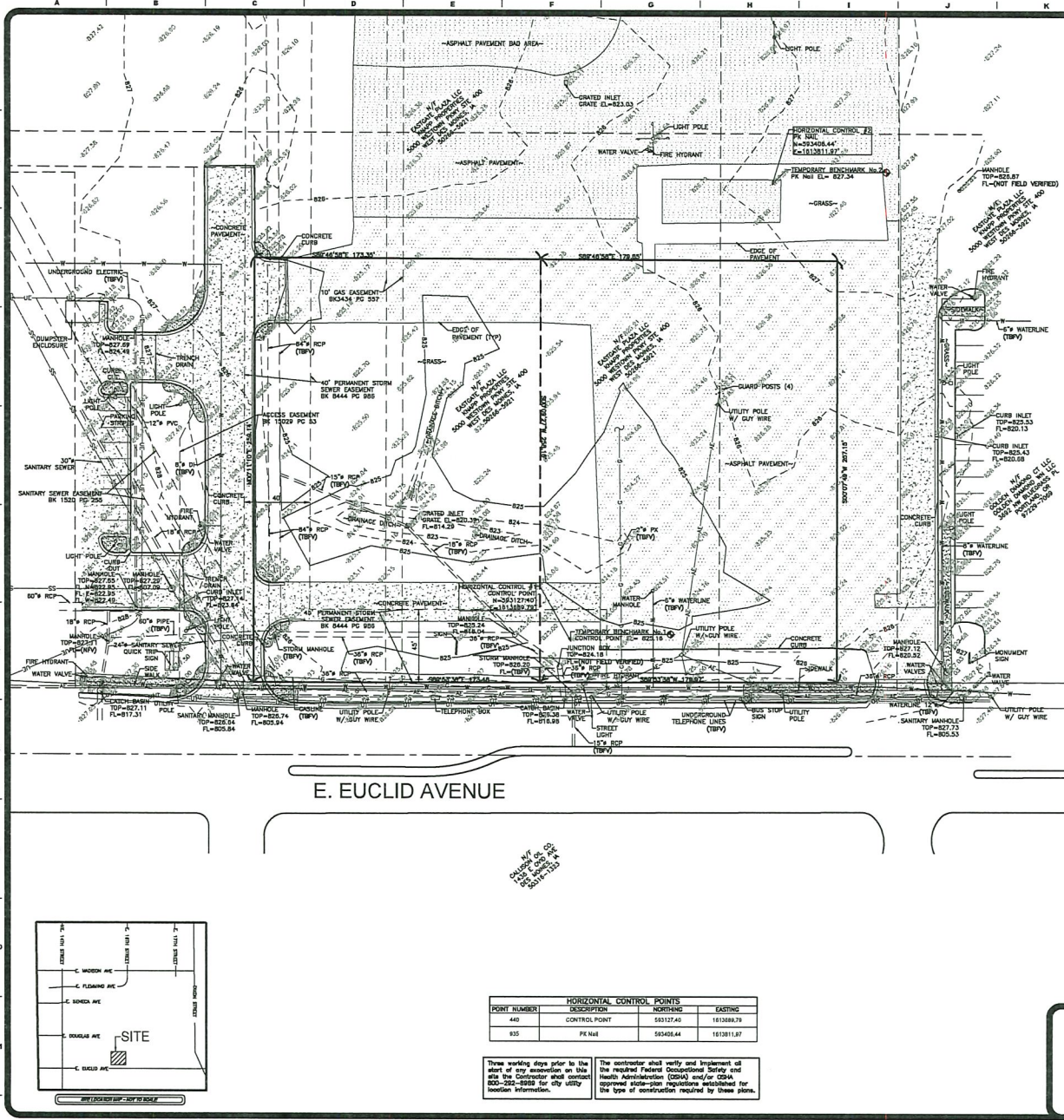
CS-1

TOPOGRAPHIC SURVEY

(THIS IS NOT A BOUNDARY SURVEY)

TOPOGRAPHIC SURVEY NOTES:

- Underground facilities, structures, and utilities have been plotted from available surveys and records. Therefore, their location must be considered approximate only. There may be others, the existence of which is presently not known.
- Field work was completed on this site by BFA Inc. on April 23, 2021.
- R - Indicates boundary information per Unrecorded Final Plat-Plat Town Subdivision prepared by Four Points Land Surveying and Engineering, Inc.
 - Primary Benchmark - Bearing referenced to Grid North of the Iowa Coordinate System. South Zone and elevations referenced to NAD83 (2011) (Epoch 2010.000) utilizing the Iowa US Foot.
 - Temporary Benchmark No. 1 - Control Point
 - Northing = 525122.62
 - Easting = 1813098.79
 - Elevation = 626.18
 - Temporary Benchmark No. 2 - PK Nail in pavement
 - Northing = 523426.44
 - Easting = 1813811.87
 - Elevation = 627.34
- This site is within Zone X, "Areas determined to be Outside the 0.2% Annual Chance Floodplains" according to FEMA Flood Insurance Rate Map No. 18180C0219F, Panel 210 of 550, dated February 1, 2016.
- Soil boring locations shown on this plan were taken from the subsurface exploration and evaluation report prepared by their locations are to be considered approximate only.
- Existing curbs and gutters on site are vertical. Curbs and gutters along asphalt paved areas are 4" wide with 4" curb and 18" wide gutters. Curbs along concrete areas are 4" high.
- This Site is within "PUD" Planned Unit Development, Per the City of Des Moines, IA.
 - Building setbacks from as per the City of Des Moines, Iowa:
 - Front: 10 feet
 - Side: 5 feet
 - Rear: 10 feet
- There is currently no known irrigation system on site.
- Water service to this site is provided by Des Moines Water Works, at time of survey.
- Sanitary sewer service to this site is provided by City of Des Moines, at time of survey.
- Electrical service to this site is provided by Mid American Electric, at time of survey.
- Telephone service to this site is provided by Century Link, at time of survey.
- Natural gas service to this site is provided by MidAmerican Gas, at time of survey.
- The minimum depth of cover for waterlines on this site is 60 inches, as per the City of Des Moines, Iowa. Actual depth of waterlines may vary.
- Name labeled (TBPV) are to be field verified by the Contractor prior to construction, and are shown per maps provided in available records and shall be considered approximate only.



TOPOGRAPHIC LEGEND	
SYMBOL/TEXT	EXISTING
AIRIAL ELECTRIC	---E---
UNDERGROUND ELECTRIC	---UE---
UNDERGROUND TELEPHONE	---UT---
GAS LINE	---C---
WATERLINE	---W---
SANITARY SEWER	---SS---
STORM SEWER	=====
EASEMENT	-----
PROPERTY LINE	-----
CHAINLINK/WOODEN FENCE	-----
CONTOURS	---100---
UTILITY POLE	+
GUARD POST	JP
SANITARY MANHOLE	O
WATER VALVE	+
FIRE HYDRANT	+
CATCH BASIN	≡
JUNCTION BOX	O
FLARED END SECTION	∩
CLEANDIRT	*
GRATED INLET	≡
SOIL BORING	⊗

DES MOINES, IOWA
 Net Lease Development LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	
2	
3	
4	

DRAWN
 S.L.E.
 CHECKED
 J.B.S.
 DATE
 07/27/21
 SCALE
 1"=30'
 JOB No.
 6453
 SHEET NAME
 TOPOGRAPHIC SURVEY
 TS-1

HORIZONTAL CONTROL POINTS			
POINT NUMBER	DESCRIPTION	NORTHING	EASTING
440	CONTROL POINT	583127.40	181388.79
835	PK NAIL	583406.44	1813811.87

Three working days prior to the start of any excavation on this site the Contractor shall contact 802-282-8888 for city utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

PRELIMINARY DRAWING

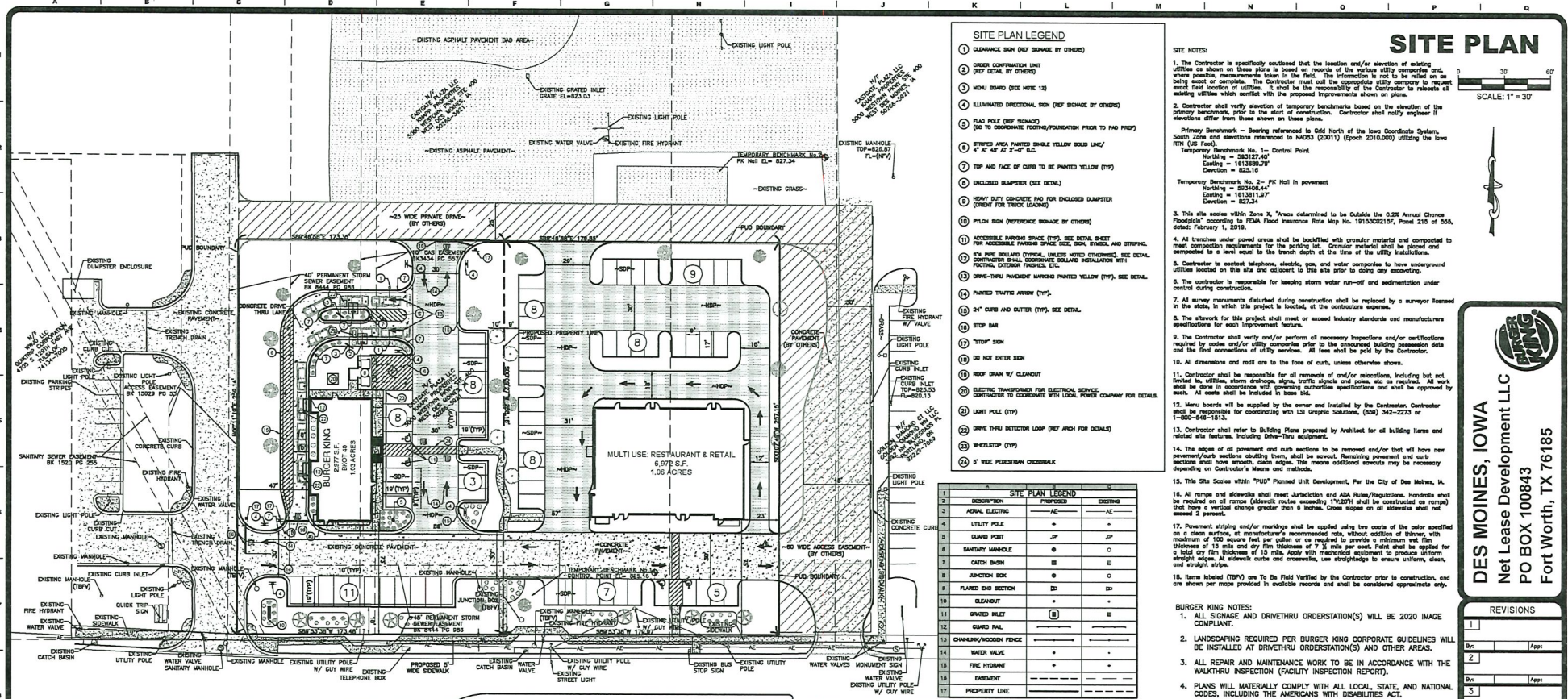
FOR REVIEW PURPOSES ONLY
 NOT TO BE USED FOR CONSTRUCTION

bfaeng.com TELEPHONE: (503) 239-4751

BFA
 Engineering+Surveying

103 ELM STREET WASHINGTON, MISSOURI 63090

7/27/2021 2:48 PM
 M:\1453 Plan Sheets\1453 Topographic Survey.dwg
 7/27/2021 2:48 PM



SITE PLAN



- ### SITE PLAN LEGEND
- CLEANLINE SIGN (REF SIGNAGE BY OTHERS)
 - GRADE COMPRESSION LIMIT (REF SIGNAGE BY OTHERS)
 - MINI SIGN (SEE NOTE 13)
 - ILLUMINATED DIRECTIONAL SIGN (REF SIGNAGE BY OTHERS)
 - FLAG POLE (REF SIGNAGE)
 - STANDARD AREA PARTIAL SINGLE YELLOW SOLID LINE (REF SIGNAGE BY OTHERS)
 - TOP AND FACE OF CURB TO BE PAINTED YELLOW (TYP)
 - ENCLOSED DAMPSTER (SEE DETAIL)
 - HEAVY DUTY CONCRETE PAD FOR ENCLOSED DAMPSTER (RIGHT FOR TRUCK LOADS)
 - FLAG SIGN (REFERENCE SIGNAGE BY OTHERS)
 - ACCESSIBLE PARKING SPACE (TYP). SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE (SEE SIGN, SYMBOL, AND SIGNING)
 - 1/4\"/>

SITE NOTES

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmarks, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
- Primary Benchmark - Bearing referenced to Grid North of the Iowa Coordinate System, South Zone and elevation referenced to NAD83 (GDA11) (Epoch 2010.00) utilizing the Iowa RTN (IG Foot).
Temporary Benchmark No. 1 - Control Point
Northing = 583127.407
Easting = 1813088.177
Elevation = 523.16
Temporary Benchmark No. 2 - PK Nail in pavement
Northing = 523465.447
Easting = 1813811.527
Elevation = 527.24
- This site is within Zone X, areas determined to be Outside the 0.2% Annual Chance Floodplain according to FEMA Flood Insurance Rate Map No. 1910302010F, Panel 215 of 505, dated February 1, 2018.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Gravel material shall be placed and compacted to 6\"/>

SITE PLAN LEGEND

NO.	DESCRIPTION	PROPOSED	EXISTING
1	ADIAL ELECTRIC	AC	AE
2	UTILITY POLE	-	-
3	GUARD POST	GP	GP
4	SANITARY MANHOLE	SM	SM
5	CATCH BASIN	CB	CB
6	JUNCTION BOX	JB	JB
7	FLARED END SECTION	ED	ED
8	CLEANOUT	-	-
9	DRAINED INLET	DI	DI
10	GUARD RAIL	-	-
11	CHALK/PAINT/WOODEN SIGN	-	-
12	WATER VALVE	-	-
13	FIRE HYDRANT	-	-
14	EXISTENT	-	-
15	PROPERTY LINE	-	-

PAVEMENT LEGEND

STANDARD DUTY PAVEMENT (SDP)

HEAVY DUTY PAVEMENT (HDP)

CONCRETE PAVEMENT

ABBREVIATION LEGEND

ABBREVIATION	DESCRIPTION
BM	BENCH MARK
BL	BUILDING
FL	FLOOR LINE
N/T	NOW AND/OR FORMERLY
SD	DOWNSPUT
SSC	SANITARY SEWER CLEANOUT
STCS	STORM SEWER CLEANOUT
Ⓢ	ADA ACCESSIBLE SIGN

Three working days prior to the start of any construction on this site the Contractor shall contact 1-800-325-8889 for utility location information.

The contractor shall verify and document all of the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved safety-related regulations established for the type of construction required by these plans.

E. EUCLID AVENUE

PARKING DATA

PROPOSED FAST FOOD BUILDING 2,977 S.F.

CITY REQUIRED PARKING:

RESTAURANT:
1 SPACE PER 150 SQUARE FEET OF FLOOR AREA
TOTAL REQUIRED: 20 SPACES

PROVIDED STANDARD SPACES 28 SPACES
PROVIDED H.C. ACCESSIBLE SPACES 2 SPACES
PROVIDED TOTAL PARKING 30 SPACES

PROVIDED OVERALL PARKING RATIO: 10.08/1,000 S.F.
9' WIDE X 17' DEEP, 90' SPACE REQUIRED
9' WIDE X 19' DEEP, PROVIDED

PARKING DATA

PROPOSED MULTI USE BUILDING 6,972 S.F.
RESTAURANT (2,736 S.F.) AND RETAIL (4,236 S.F.)

CITY REQUIRED PARKING:
RESTAURANT: 1 SPACE PER 150 S.F. OF FLOOR AREA
SUBTOTAL REQUIRED: 19 SPACES
RETAIL: 1 SPACE PER 200 S.F. OF FLOOR AREA
SUBTOTAL REQUIRED: 22 SPACES
TOTAL REQUIRED: 41 SPACES

PROVIDED STANDARD SPACES 43 SPACES
PROVIDED H.C. ACCESSIBLE SPACES 2 SPACES
PROVIDED TOTAL PARKING 45 SPACES

PROVIDED OVERALL PARKING RATIO: 6.45/1,000 S.F.
9' WIDE X 17' DEEP, 90' SPACE REQUIRED
9' WIDE X 17' DEEP, PROVIDED

PRELIMINARY DRAWING

FOR REVIEW PURPOSES ONLY
NOT TO BE USED FOR CONSTRUCTION

blwing.com TELEPHONE: (836) 239-4721

BFA
Engineers+Surveyors

103 ELM STREET WASHINGTON, MISSOURI 63090

DES MOINES, IOWA
Net Lease Development LLC
PO BOX 100843
Fort Worth, TX 76185

REVISIONS

NO.	DATE	APP.
1		
2		Appr.
3		Appr.
4		Appr.

DRAWN: G.W.C.
CHECKED: J.B.S.
DATE: 07/23/21
SCALE: 1\"/>

7/27/2021 Des Moines, IA, Trudy Kogelski, P.E. 18433 Site Planning

LANDSCAPE PLAN



LANDSCAPE NOTES

- Contractor shall place seed in all grass/turf areas as shown, and at other disturbed areas.
- After a stand of grass is established and no more erosion and sediment is expected, concrete curbs shall be cleaned out.
- The site work for this project shall meet or exceed Industry Standards and Manufacturer's Specifications for each improvement feature.
- The Contractor shall provide a one-year maintenance contract for all landscaping and irrigation systems.
- The planter areas shall have a seed border and be covered with landscape gravel of 3" minimum depth. A steel edging shall be used on all landscaped areas within grass areas.
- The Contractor is specifically cautioned that the locations and/or direction of existing utilities as shown on these plans is based on records of the utility companies and, where possible, measurements taken in the field. The information is not to be relied on or being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- All concrete areas are to receive four inches of topsoil. Contractor to seed, mulch, fertilize, water, and maintain all areas suitable of paved areas that are disturbed during construction with an acceptable stand of grass in association. Contractor shall be responsible to take whatever means necessary to maintain permanent soil stabilization.
- Soil shall be well-aerated and be completely free from noxious weeds and reasonably free from other objectionable grasses, weeds, and stones. Seeding and seeding shall be done in accordance with this landscape plan.
- All plants must be healthy, vigorous material, free of pest and diseases.
- All plants must be container grown or balled and burlapped as indicated in the plant list.
- All trees are subject to the approval of the owner before, during and after installation.
- Prior to construction, the Contractor must be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. The Contractor is responsible for repairing any and all damage to utilities, structures, site appurtenances, etc which occurs as a result of the landscape and irrigation construction.
- Contractor is responsible for verifying all quantities shown on these plans before pricing the work.
- All planter trenches and planter areas shall be bermed with a 3:1:1 slope and seeded to meet the seeding specifications, unless otherwise indicated on these plans.
- All landscape material must be provided by a local nursery or tree farm within a 100 mile radius of site.
- Contractor to adjust plantings accordingly, notify BFA and Owner of any major changes.
- Proposed plant material is to be selected by the contractor and approved by the Owner prior to construction.
- Tree locations and planting bag to be located by the contractor and approved by the owner prior to installation.
- Planting shall not prohibit site distance requirements.
- Contractor shall coordinate with owner and City prior to construction to determine if a separate irrigation water meter is needed.
- The Contractor shall provide a line item cost for irrigation for landscaping and items in their Design Build price. Dig location shall be provided for all shrubs/trees, and spray irrigation for all wet areas. Dig irrigation shall be installed below the seed border. Contractor shall verify with the developer prior to construction to confirm installation.

COMMON NAME (PLANT LABEL)	SYMBOL	BOTANICAL NAME	PLANT SIZE	QUANTITY
RED OAK (RO)	[Symbol]	QUERCUS RUBRA	1.5' CAL/8 FT	6
LITTLELEAF LINDEN (LL)	[Symbol]	TILIA CORDATA	1.5" CAL	8
EASTERN REDBUD (ER)	[Symbol]	CERCIS CANADENSIS	1.5 CAL/8 FT	8
JAPANESE TREE LILAC (JL)	[Symbol]	SYRINGA RETICULATA	1.5 CAL/8 FT	8
MORRIS MIDGET BOMBARD (MB)	[Symbol]	BURUS MICROPHYLLA JAPONICA "MORRIS MIDGET"	3 GAL	50
LOW SCAPED BURGUNDY CHOISYERONY (LWC)	[Symbol]	ARGENTIA MELANOCARPA	3 GAL	48
CRIMSON PYRAMID BARBERY (CP)	[Symbol]	BERBERIS THUNBERGII	3 GAL	6
TURF-500	[Symbol]	TURF TYPE FESCUE		
LANDSCAPE GRAVEL	[Symbol]	1.5"-2" GRANITE LANDSCAPE GRAVEL		

NOTE: ALL QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.

DESCRIPTION	PROPOSED	EXISTING
ADJAC. ELECTRIC	---	---
UNDERGROUND ELECTRIC	---	---
UTILITY POLE	---	---
GAS LINE	---	---
GUARD POST	PP	PP
SAFETY RISER	SS	SS
SAFETY MANHOLE	o	o
STORM SEWER	=====	=====
CATCH BASIN	■	■
JUNCTION BOX	o	o
FLARED END SECTION	ED	ED
CLEANOUT	+	+
GRADED INLET	(B)	■
GUARD RAIL	---	---
CHARLIEK FENCE	---	---
BATTERYLINE	---	---
BATTERY VALVE	+	+
PAVE HIGHWAY	---	---
EXISTING	---	---

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-322-8989 for utility location information.

The contractor shall verify and implement of the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.



DES MOINES, IOWA
 Net Lease Development LLC
 PO BOX 100843
 Fort Worth, TX 76185

REVISIONS	
1	
2	App
3	App
4	App

DRAWN: E.L.E.
 CHECKED: J.E.S.
 DATE: 07/27/21
 SCALE: 1"=30'
 JOB NO.: 6455
 SHEET NAME: LANDSCAPE PLAN

LP-1

SITE TREES CANOPY COVERAGE:
 (6 RED OAK + 8 LITTLELEAF LINDEN) X (1,000 SF CANOPY COVERAGE) = 14,000 SF
 (8 EASTERN REDBUD + 8 JAPANESE TREE LILAC) X (700 SF CANOPY COVERAGE) = 9,800 SF
 TOTAL = 23,800 SF CANOPY COVERAGE
 SITE = 2.08 ACRES = 91,040 SF
 26% SITE CANOPY COVERAGE

E. EUCLID AVENUE

I:\Projects\2021\07\21\07210717\07210717.dwg
 07/27/21 10:10 AM
 S:\Users\scottj\OneDrive - Des Moines, IA\OneDrive - Des Moines, IA\Projects\2021\07\21\07210717\07210717.dwg



DATE	DATE
DESIGNER	DATE
CHECKED BY: JMF	DATE: 08-11-21
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	
DATE	



NO. ARCHITECTS / ARCHITECTS
 1000 N. CENTRAL
 FORT WORTH, TEXAS 76104
 PHONE: 817.731.9922
 EMAIL: INFO@FRANZARCHITECTS.COM

FRANZ architects
 www.FranzArchitects.com
 4005 International Plaza Suite 100
 Fort Worth, Texas 76109

PROJECT #: 20207
BURGER KING RESTAURANT
 5. DUDLO AVE.
 DCS BOXES, IA. 50313

COLOR EXTERIOR ELEVATIONS
 A-2

DATE: 07-30-21
CHECKED BY: JMF
DESIGNER
DATE: 07-30-21
DRAWN BY: AJK
DATE: 07-30-21
DATE: 07-30-21
DATE: 07-30-21
DATE: 07-30-21
DATE: 07-30-21
DATE: 07-30-21



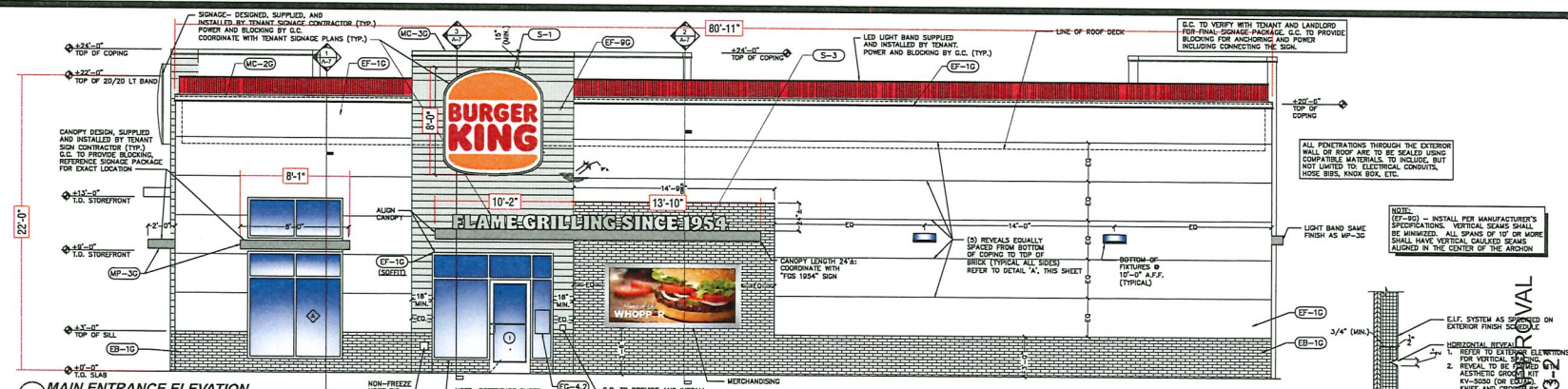
PROJECT # 20207
 BURGER KING RESTAURANT
 E. BURNS, P.C.
 DICK MORRIS, I.A. 00313
 20/20 EXTERIOR FINISH SCHEDULE

A-2.1

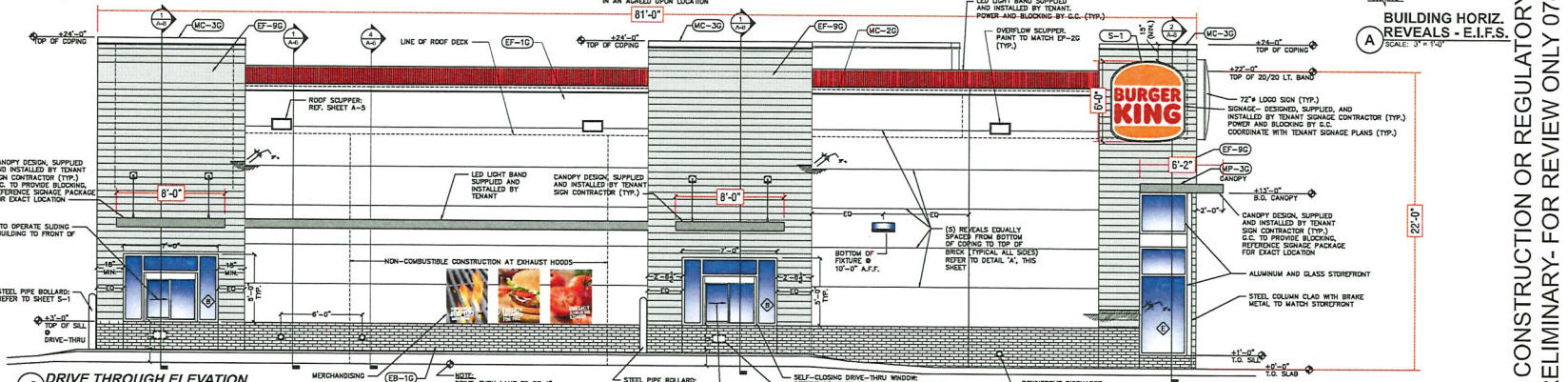
BURGER KING - 20/20 GARDEN GRILL EXTERIOR
EXTERIOR MATERIALS & FINISH SCHEDULE (not all specs are used on every project)

CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	DESCRIPTION	DIMENSION	ADDITIONAL INFORMATION
EB-1G	EXTERIOR BRICK	GENERAL	PINE HALL BRICK	FACE BRICK	OLD IRVINGTON O/S		CONTACT: THERESA BEANE (800) 334-8689 - tbeane@pinehallbrick.com NOTE: USE WITH EGR-3G
EF-1G	EXTERIOR FINISH - STUCCO, STO	GENERAL	STO OR APPROVED EQUAL	STO POWERWALL STUCCO SYSTEM TEXTURE: FINE SAND OR STO THERM CLEFS SYSTEM	COLOR TO MATCH EP-2G PPG "DESERT DUNE"		CONTACT: TIM SALERNO AT STO CORP (407) 466-5371
EF-9G	EXTERIOR FINISH FIBER CEMENT	EXTERIOR SIGN ARCHONS	NICHIIHA FIBER CEMENT	VINTAGE WOOD EF762	"CEDAR"	18" X 10"	CONTACT NICHIIHA CUSTOMER SERVICE (770) 805-9466 BK@NICHIIHA.COM INST ALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL CAULKED SEAMS ALIGNED IN THE CENTER OF THE ARCHON. ALL TRIMS SHALL BE FACTORY PAINTED TO MATCH PANELS. VERTICAL APPLICATIONS ONLY (NOT FOR USE ON SOFFITS)
TR-1G	ALUMINUM TRIMS						
EP-2G	EXTERIOR PAINT	EXTERIOR GENERAL	PPG	PRIMER: 17-921 PAINT: 6-2045XI	"DESERT DUNE" PPG 1023-4		Contact: KEVIN LASTACY, PPG CORPORATE NATIONAL ACCOUNTS MANAGER phone: (616) 335-3256 email: klastacy@ppg.com
EP-4G	EXTERIOR PAINT	EXTERIOR WAINSCOT		PRIMER: 17-921 PAINT: 6-2045XI	"GRANITE" PPG 1022-6		NOTE: FOR REMODELS ONLY NOT FOR USE ON ROOFS. SEE EP-6AG & EP-6BG
EP-6G	EXTERIOR PAINT	LOGO SIGN CABINETS & BURGER KING CHANNEL LETTER CABINETS		PRIMER: 6-212 PAINT: 6-230	"STEPPING STONE" PPG 1010-4 Custom Formula		
EP-8BG	EXTERIOR PAINT	METAL COPING AT ARCHON TOWERS		PRIMER: 17-921 PAINT: 6-2045XI	"CARAVEL BROWN" PPG 1079-6 Custom Formula		
EXT-6	EXTERIOR PAINT	POLES & SIGNS		PRIMER: 90-712 PAINT: 90-353	"BLACK"		
EGR-3G	GROUT	BRICK	MAPEI		#5 "CHAMOIS"		NOTE: USE WITH EB-1G
MC-1G	METAL COPING	TOP OF LIGHT BAND WALL CAP	W.P. HICKMAN SYSTEMS, INC.	PERMA SNAP PLUS	A-30 "SILVERSMITH"		CONTACT: W.P. HICKMAN COMPANY (828)676-1700 - WWW.WPH.COM
MC-2G	METAL COPING	BELOW LIGHT BAND		PERMA SNAP PLUS	A-26 "SIERRA TAN"		
MC-3G	METAL COPING	TOP OF ARCHON		PERMA SNAP PLUS	A-26 "SIERRA TAN"		
MP-1G		PARAPET LIGHT BAND	LEKTRON *SEE APPROVED SIGN SUPPLIERS	LED LIGHT BAND		*SEE PLANS	PRODUCT INFORMATION: KEVIN RUBOTTOM AT LEKTRON (800) 634-4059 OR (918) 522-4978 Email: KRubottom@lektroninc.com
MP-3G	METAL CANOPY	ABOVE DOORS AND WINDOWS	*SEE APPROVED CANOPY SUPPLIERS	CUSTOM METAL CANOPY	COLOR: CLEAR ANODIZED	*SEE PLANS	CONTACT: YUSUKE KOREEDA (615) 945-9991 Email: koreedayusuke@firestonebp.com
MP-4G	METAL AWNING / SSM ROOFING	ABOVE WINDOWS / MANSARD ROOFING	FIRESTONE METAL PRODUCTS	STANDING SEAM METAL ROOF UC-4 PROFILE	SILVER METALLIC SR	*SEE PLANS	CONTACT: (210) 650-7047
			BERRIDGE ROOFING METAL PRODUCTS	STANDING SEAM METAL ROOF CEE-LOCK	PREMIUM METALLIC - ZINC COTE	*SEE PLANS	

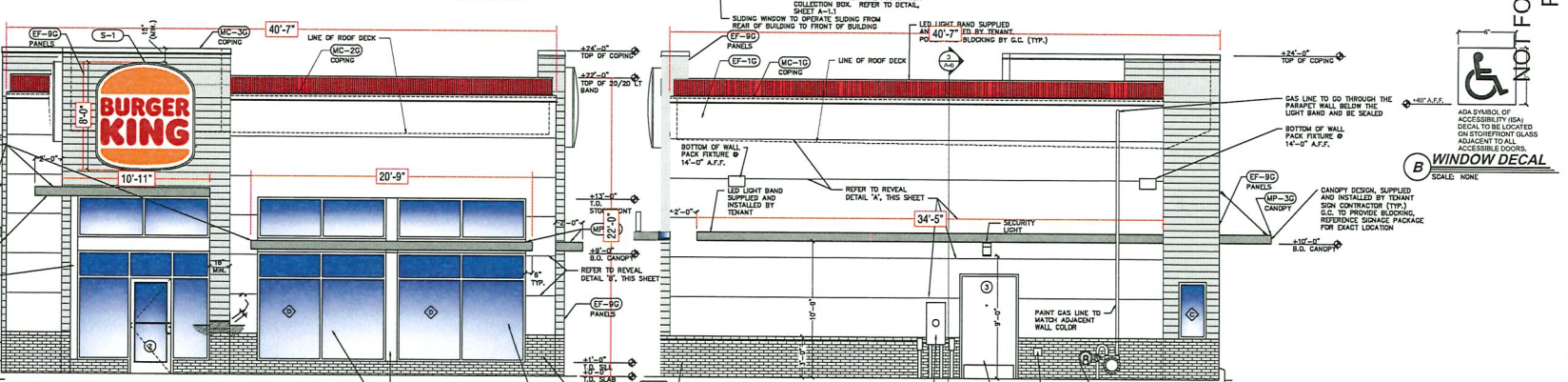
SEAL	I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.
	JOHN FRANZ
PRINTED OR TYPED NAME	DATE
SIGNATURE	DATE
DATE ISSUED	DATE ISSUED
REGISTRATION EXPIRES	DATE ISSUED
PAGES OR SHEETS COVERED BY THIS SEAL: INDEX, LSI, A-1, A-1A, A-2, A-2A, A-3, A-3A, A-4, A-4A, A-5, A-5A, A-6, A-6A, A-7, A-8, A-9, A-10, A-11, ADA-1, ADA-2, ADA-3, EQ-1, EQ-2, AF-1, AF-2	



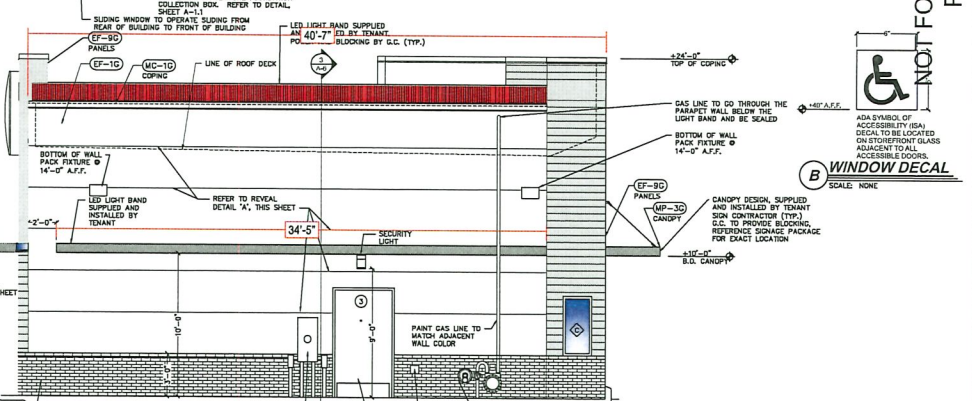
1 MAIN ENTRANCE ELEVATION
SCALE: 1/4" = 1'-0"



2 DRIVE THROUGH ELEVATION
SCALE: 1/4" = 1'-0"



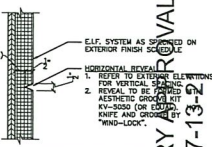
3 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

ALL PENETRATIONS THROUGH THE EXTERIOR SHALL BE SEALED USING COMPATIBLE MATERIALS TO INCLUDE, BUT NOT LIMITED TO ELECTRICAL CONDUITS, HOSE BIBS, KNOX BOX, ETC.

NOTE: (EF-90) - INSTALL PER MANUFACTURER'S SPECIFICATIONS. VERTICAL SEAMS SHALL BE MINIMIZED. ALL SPANS OF 10' OR MORE SHALL HAVE VERTICAL GASKETED SEAM ALIGNED IN THE CENTER OF THE ARCH.



A BUILDING HORIZ. REVEALS - E.I.F.S.
SCALE: 3/8" = 1'-0"



B WINDOW DECAL
SCALE: NONE

NOT FOR CONSTRUCTION OR REGULATORY SUBMITTAL
PRELIMINARY- FOR REVIEW ONLY 07-13-22

DATE	07-13-22
DRAWN BY	AJK
CHECKED BY	JMF
REVISION	



AS ARCHITECTS / INTERIORS
CONTRACT DESIGNER
P.O. BOX 10043
FORT WORTH, TEXAS 76188
DATE: 04/20/2023
0400

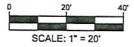
FRANZ
architects

4955 International Plaza Suite 100
Fort Worth, Texas 76103
(817) 737-9922
www.franzarchitect.com

BURGER KING RESTAURANT

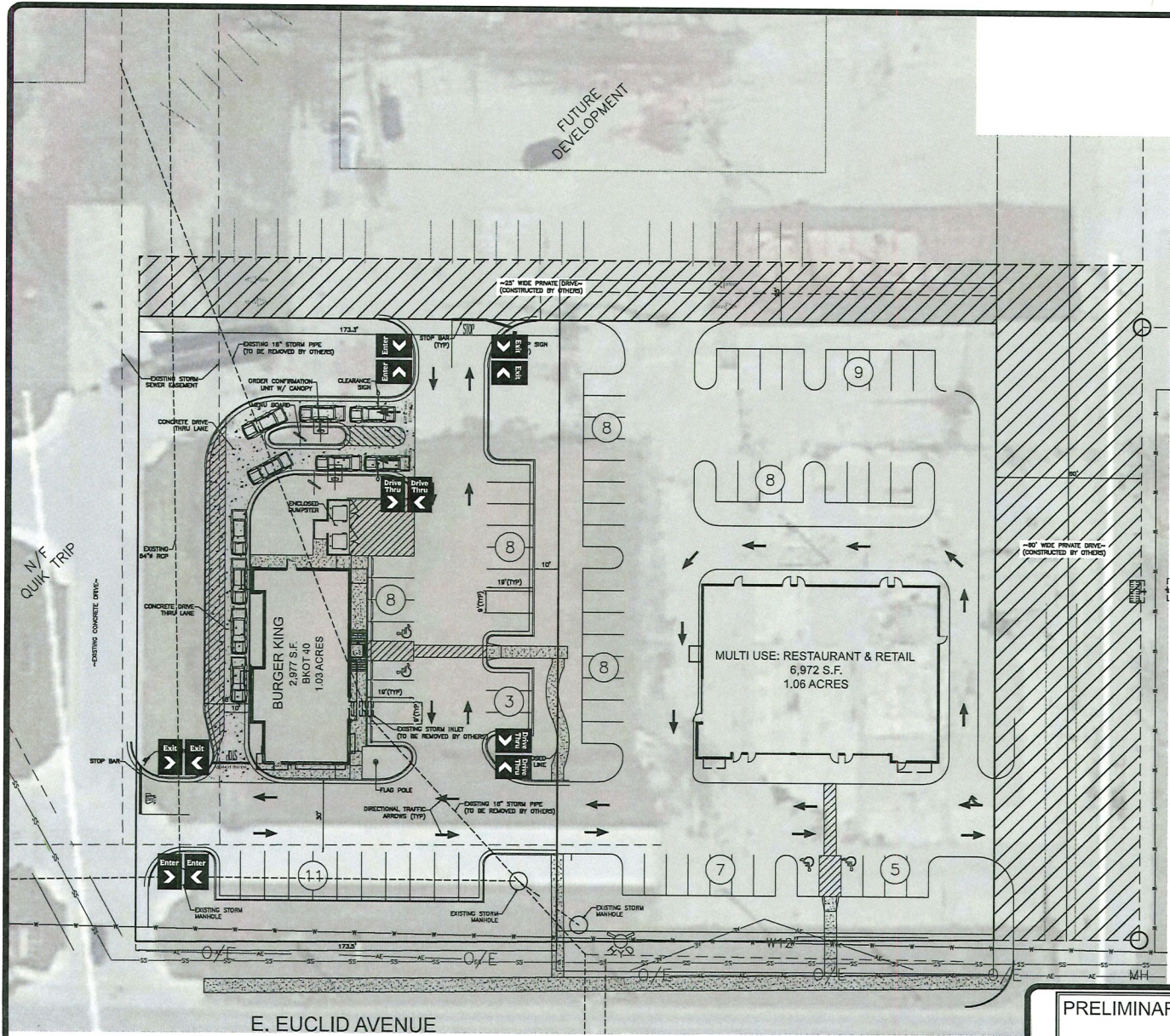
PROJECT # 20207
E. ENDER AVE.
250 WAPLES, TX 76183

CONCEPTUAL SITE PLAN 2.1



SITE NOTES:

1. SITE IS ZONED PUD "PLANNED UNIT DEVELOPMENT" ZONE AS PER CITY OF DES MOINES.
2. BOUNDARY INFORMATION IS GRAPHICALLY SCALED FROM AVAILABLE MAPS AND DATA, THUS PROPERTY LINES AND ACRESAGES SHALL BE CONSIDERED APPROXIMATE ONLY.
3. BUILDING SETBACKS AS PER CITY OF DES MOINES ZONING CODE:
FRONT YARD=
SIDE YARD=
REAR YARD=
4. ALL SIGNAGE AND DRIVETHRU ORDERSTATION(S) WILL BE 2020 IMAGE COMPLIANT.
5. LANDSCAPING REQUIRED PER BURGER KING CORPORATE GUIDELINES WILL BE INSTALLED AT DRIVETHRU ORDERSTATION(S) AND OTHER AREAS.
6. ALL REPAIR AND MAINTENANCE WORK TO BE IN ACCORDANCE WITH THE WALKTHRU INSPECTION (FACILITY INSPECTION REPORT).
7. PLANS WILL MATERIALLY COMPLY WITH ALL LOCAL, STATE, AND NATIONAL CODES, INCLUDING THE AMERICANS WITH DISABILITIES ACT.
8. TRASH ENCLOSURE COLOR WILL MATCH BUILDING.
9. ALL EXTERIOR MENU BOARDS WILL BE BURGER KING APPROVED DIGITAL MODELS.



PARKING DATA	
PROPOSED MULTI USE BUILDING	6,972 S.F.
RESTAURANT (2,736 S.F.) AND RETAIL (4,236 S.F.)	
CITY REQUIRED PARKING:	
RESTAURANT: 1 SPACE PER 150 S.F. OF FLOOR AREA	2 SPACES
SUBTOTAL REQUIRED:	19 SPACES
RETAIL: 1 SPACE PER 200 S.F. OF FLOOR AREA	22 SPACES
SUBTOTAL REQUIRED:	41 SPACES
TOTAL REQUIRED:	41 SPACES
PROVIDED STANDARD SPACES	43 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	45 SPACES
PROVIDED OVERALL PARKING RATIO: 6.45/1,000 S.F.	
9' WIDE X 17' DEEP, 90' SPACE REQUIRED	
9' WIDE X 17' DEEP, PROVIDED	

PARKING DATA	
PROPOSED FAST FOOD BUILDING	2,977 S.F.
CITY REQUIRED PARKING:	
RESTAURANT:	
1 SPACE PER 150 SQUARE FEET OF FLOOR AREA	20 SPACES
TOTAL REQUIRED:	20 SPACES
PROVIDED STANDARD SPACES	28 SPACES
PROVIDED H.C. ACCESSIBLE SPACES	2 SPACES
PROVIDED TOTAL PARKING	30 SPACES
PROVIDED OVERALL PARKING RATIO: 10.01/1,000 S.F.	
9' WIDE X 17' DEEP, 90' SPACE REQUIRED	
9' WIDE X 19' DEEP, PROVIDED	



DES MOINES, IOWA
 Net Lease Development, LLC
 PO Box 100843
 Fort Worth, TX 76185

REVISIONS	
1	
2	By: _____ App: _____
3	By: _____ App: _____
4	By: _____ App: _____

DRAWN
G.W.C.
 CHECKED
J.B.S.
 DATE
04/28/21
 SCALE
1"=20'
 JOB NO.
6453
 SHEET NAME
CONCEPTUAL SITE
PLAN 2.1

PRELIMINARY DRAWING
 FOR REVIEW PURPOSES ONLY
 NOT TO BE USED FOR CONSTRUCTION

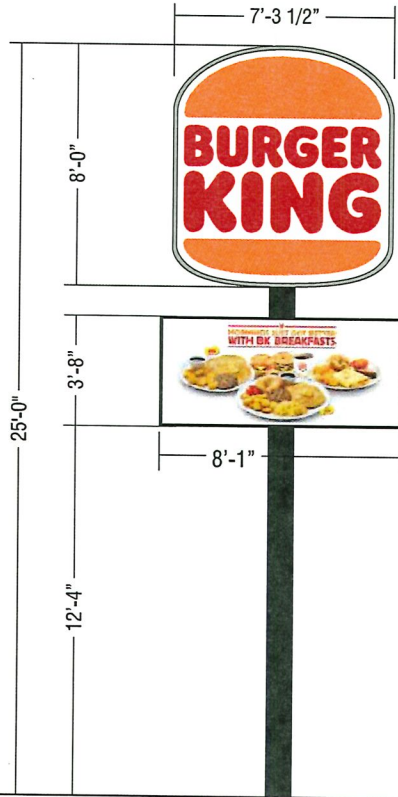
bkwng.com TELEPHONE: (565) 239-4751

 103 ELM STREET WASHINGTON, MISSOURI 63090

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-252-2889 for utility location information.
 The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

E. EUCLID AVENUE

8' BK BUN PYLON @ 25' OAH WITH 3'-8" X 8'-1" EMCS



- Brushed Silver
- 3M Translucent Vinyl #3630-84 Tangerine
- 3M Translucent Vinyl #3630-143 Poppy Red
- 3M White Diffuser #3635-30

MAIN CABINET: D/F LED ILLUMINATED CABINET WITH .125" CLEAR SOLAR GRADE POLYCARBONATE W/ UV INHIBITOR VACUUM FORMED PANNED AND EMBOSSED FACES. 3M TRANSLUCENT VINYL APPLIED TO 2ND SURFACE W/ WHITE DIFFUSER.

EMC: TWO S/F FULL COLOR 15.85mm DAKTRONICS ELECTRONIC MESSAGE CENTERS.



ENTERA

Your total branding solution

6900 VENTURE CROSSINGS BLVD
 PANAMA CITY, FL 32409
 PH: 850-763-7982
 FAX: 850-392-0673
 www.enterabrading.com

THIS DOCUMENT CONTAINS PROPRIETARY AND CONFIDENTIAL INFORMATION OF ENTERA, LLC AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN TO EVALUATE THIS DOCUMENT, WITHOUT THE PRIOR WRITTEN CONSENT OF ENTERA, LLC. TITLE IN AND TO THIS DOCUMENT AND ALL INFORMATION CONTAINED HEREIN REMAINS AT ALL TIMES PROPERTY OF ENTERA, LLC.

COLOR NOTES:

- #3630-84 Tangerine
- #3630-143 Poppy Red
- #3635-30 White Diffuser
- BK Silver
- Black

REVISION	
1	XXXXX
2	XXXXX
3	XXXXX
4	XXXXX

ARTIST	MATT C
CUSTOMER	BURGER KING
SCALE	1/4" = 1'
DATE	04/16/21
LOCATION	VARIOUS

