

.....
Date April 19, 2021

RESOLUTION SETTING HEARING ON REQUEST FROM RIVER POINT WEST, LLC FOR APPROVAL OF PUD FINAL DEVELOPMENT PLAN “SLATE AT GRAY’S LANDING” FOR PROPERTY AT 400 SOUTHWEST 11TH STREET

WHEREAS, on April 1, 2021, the City of Des Moines Plan and Zoning Commission voted 13-0 to **APPROVE** a request from River Point West LLC (owner), represented by Will Anderson (officer), to approve the PUD Final Development Plan “Slate at Gray’s Landing” on property located at 400 Southwest 11th Street (“Property”) to allow for subdivision of a 4.10-acre lot for an 132-unit multiple-household building for independent senior living on the north half of the Slate at Gray’s Landing PUD District, subject to the following:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.
3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation; and

WHEREAS, the Property is legally described as follows:

LOT 1, GRAY’S LANDING PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed PUD Final Development Plan “Slate at Gray’s Landing” is to be considered, and at which time the City Council will hear both those who oppose and those who favor the proposal, shall be held at 5:00 p.m. on May 10, 2021, by electronic means to encourage and maintain social distancing to curb the spread of COVID19 in the community, without public access to the meeting location.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposal in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code. The City Clerk is instructed to provide this notice including information about participation in the electronic meeting as indicated above.

 **Roll Call Number**

Agenda Item Number

18B

.....
Date April 19, 2021

MOVED BY _____ TO ADOPT.

FORM APPROVED:

/s/ Glenna K. Frank

Glenna K. Frank, Assistant City Attorney

(10-2021-7.60)

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

COUNCIL ACTION	YEAS	NAYS	PASS	ABSENT
COWNIE				
BOESEN				
GATTO				
GRAY				
MANDELBAUM				
VOSS				
WESTERGAARD				
TOTAL				

MOTION CARRIED

APPROVED

Mayor

City Clerk



Date May 10, 2021
Agenda Item 18B
Roll Call # _____

April 13, 2021

Honorable Mayor and City Council
City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their April 1, 2021 meeting, the following action was taken regarding a request from River Point West LLC (owner) represented by Will Anderson (officer) for review and approval of a PUD Final Development Plan "Slate at Gray's Landing" for development of the senior housing project proposed for 400 SW 11th Street.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 13-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles	X			
Abby Chungath	X			
Kayla Berkson	X			
Jann Freed	X			
Johnny Alcivar	X			
Lisa Howard	X			
Carolyn Jenison	X			
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier	X			
Emily Webb	X			

APPROVAL of the proposed PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.

3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation. (10-2021-7.60)

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Staff recommends approval of the proposed PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.
3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation.

STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to construct a 132-unit multiple-household building on the north half of the Slate at Gray's Landing "PUD" site. The development would operate as housing for independent senior living.
2. **Size of Site:** 178,719 square feet (4.1 acres).
3. **Existing Zoning (site):** Slate at Gray's Landing Legacy "PUD" Planned Unit Development District.
4. **Existing Land Use (site):** Undeveloped land.
5. **Adjacent Land Use and Zoning:**
 - North** – "PUD"; Use is multiple-household units.
 - South** – "DX2"; Use is undeveloped land.
 - East** – "DX2"; Use is multiple-household units.
 - West** – "PUD"; Uses are rowhouse and multiple-household units.

6. **General Neighborhood/Area Land Uses:** The subject property is in the southwest portion of the downtown in the Gray's Landing/Gray's Station neighborhood. The surrounding area consists of vacant land, commercial uses, multiple-household residential uses, light industrial uses, the Raccoon River, and Gray's Lake Park.
7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Downtown Des Moines Neighborhood. All neighborhood associations were notified of the meeting by mailing of the Preliminary Agenda on March 12, 2021 and the Final Agenda on March 26, 2021. Additionally, separate notifications of the hearing for this specific item was mailed on March 22, 2021 (10 days prior to the hearing) to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the requested rezoning. The Downtown Des Moines Neighborhood Association mailings were sent to Sebastian Hamirani, 1400 Walnut Street, #413, Des Moines, IA 50309.
8. **Relevant Zoning History:** The Slate at Gray's Landing PUD rezoning and PUD Conceptual Plans were approved by the City Council on January 28, 2019 by Roll Call Numbers 19-0167, 19-0168 and 19-0169.
9. **PlanDSM Future Land Use Plan Designation:** Downtown Mixed Use.
10. **Applicable Regulations:** Considering the criteria set forth in Chapter 18B of the Iowa Code, and based on the provisions of Chapter 134 Section 134-2.2.9.C, all PUD Final Development Plans must be reviewed and approved by the City Council after review and recommendation by the Plan and Zoning Commission.

II. ADDITIONAL APPLICABLE INFORMATION

1. **Drainage & Grading:** All grading is subject to an approved grading permit and soil erosion control plan. The applicant is required to demonstrate compliance with the City's Stormwater Management requirements to the satisfaction of the City's Permit and Development Center. The development would utilize regional facilities designed to account for development in this area.
2. **Access & Parking:** The proposed building would front Tuttle Street to the north and Southwest 11th Street to the east. A trail adjoins the site to the west. Multiple points of pedestrian access would be provided to the adjoining public sidewalks and the trail. Vehicular access would be limited to a single driveway from Southwest 11th Street. A surface parking lot would be located within the development. The building would contain basement-level parking accessed from the main driveway. A total of 160 parking spaces would be provided.
3. **Urban Design:** The proposed building would be 4 stories tall and would include an attached 1-story clubhouse that would house an indoor pool, fitness center, community room, spa, and hobby room. The building would provide a mix of 1-bedroom; 1-bedroom plus den; and 2-bedroom units. The building would have a C-shape with frontage along Southwest 11th Street, Tuttle Street, and a trail to west constructed by Hubbell as a part of the Gray's Station development. Proposed materials consist of two types of fiber cement board (slate blue panel and a brown lap), light gray manufactured

stone veneer, and gray rock face CMU. Windows, decks, and railing will utilize a dark bronze aluminum.

The proposal generally complies with the PUD Conceptual Plan. Section III of the report includes a few design related items that staff believe should be address. This includes the request that the applicant work with staff to look for ways to provide greater visual interest for the east façade of the clubhouse, particularly at the entrance. The appearance of this side of the clubhouse is somewhat monolithic as compared to the rest of the building. Adding variation or visual emphasis would help break up the façade, call attention to the entrance of the clubhouse, and possibly better tie this part of the clubhouse to the architectural character of the rest of the development.

SUMMARY OF DISCUSSION

Dory Briles asked if any member of the public or the commission desired to speak on the item. No one requested to speak.

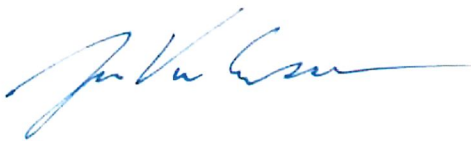
COMMISSION ACTION:

Emily Webb made a motion for **APPROVAL** of the proposed PUD Final Development Plan subject to the following conditions:

1. Compliance with all administrative review comments.
2. Use of swing doors for all ground floor entrance points. Slider style doors are prohibited.
3. Patio fencing for all ground floor units shall include a gate.
4. Provision of additional architectural interest for the portion of the east façade of the clubhouse that contains the entrance to the satisfaction of the Planning and Urban Design Administrator. This could include, but is not limited to, additional material variation, vertical emphasis and/or articulation.

Motion passed: 13-0

Respectfully submitted,



Jason Van Essen, AICP
Planning & Urban Design Administrator

JMV:tjh

18B

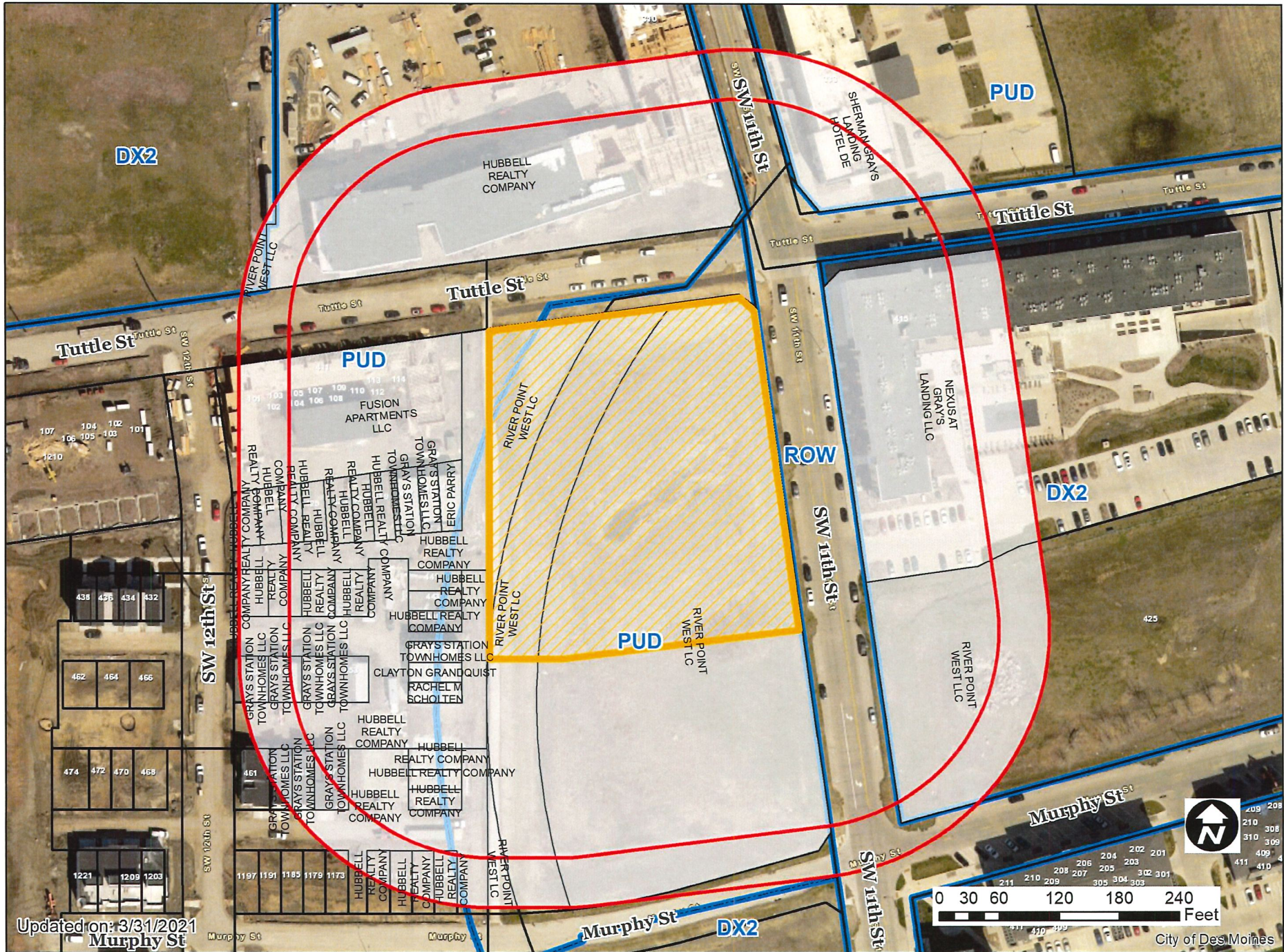
Request from River Point West LLC (owner) represented by Will Anderson (officer) for the property located at 400 SW 11th Street		File #		
		10-2021-7.60		
Description of Action	Review and approval of a PUD Final Development Plan "Slate at Gray's Landing" for development of the senior housing project.			
PlanDSM Future Land Use	Current: Downtown Mixed Use. Proposed: N/A.			
Mobilizing Tomorrow Transportation Plan	No planned improvements.			
Current Zoning District	Slate at Gray's Landing Legacy "PUD" Planned Unit Development.			
Proposed Zoning District	N/A.			
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition
Outside Area (200 feet)	0	0		
Within Subject Property				
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes
	Denial			No

River Point West LLC, 400 Southwest 11th Street

10-2021-7.60 & 13-2021-1.29



1 inch = 128 feet



Updated on: 3/31/2021
Murphy St

City of Des Moines

1 inch = 128 feet

SITE PLANS FOR SLATE AT GRAY'S LANDING POLK COUNTY, IOWA



1"=300'

OWNER
RIVER POINT WEST LLC
233 PARK AVENUE SOUTH, SUITE 201
MINNEAPOLIS, MN 55410
(612)-332-3000

DEVELOPER
SHERMAN ASSOCIATES DEVELOPMENT LLC
233 PARK AVENUE SOUTH, SUITE 201
MINNEAPOLIS, MN 55410
WILL ANDERSON, SENIOR DEVELOPER
(612)-604-0866

SURVEYOR/ENGINEER
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BLVD.
ANNETT, IA 50023
(515)-364-2020

- INDEX OF SHEETS
1. TITLE SHEET
 2. PROJECT INFORMATION
 3. SITE BOUNDARY INFORMATION AND DEMOLITION PLAN
 4. SITE LAYOUT PLAN
 5. UTILITY PLAN - NORTH
 6. SIDEWALK AND UTILITY PLAN - SOUTH
 7. GRADING, POLLUTION PREVENTION, AND EROSION CONTROL PLAN - NORTH
 8. GRADING, POLLUTION PREVENTION, AND EROSION CONTROL PLAN - SOUTH
 9. SITE ACCESSIBILITY PLAN
 10. TREE MITIGATION PLAN
 11. PLANTING PLAN
 12. DES MOINES WATERWORKS DETAILS


SITE PLAN APPROVAL:

APPROVED APPROVED WITH CONDITIONS - SEE EXHIBIT "A"

IN ACCORDANCE WITH SECTION 135-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE COMMUNITY DEVELOPMENT DIRECTOR.


COMMUNITY DEVELOPMENT DIRECTOR: _____ DATE: _____



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Eric D. Cannon, P.E. Date _____
License Number P18924
My License Renewal Date is December 31, 2021

Pages or sheets covered by this set: _____



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Timothy L. West, ASLS Date _____
License Number 412
Pages or sheets covered by this set: _____

License Expires: June 30, 2021

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>REVISED AS PER CITY COMMENTS</td> <td>12/17/20</td> <td>PH</td> </tr> </tbody> </table> <p>WORKSHEET: EDCO Checked By: TLW Scale: 1"=300'</p> <p>Technician: STJ Date: 12/17/20 Project No: 1180793</p> <p style="text-align: right;">Sheet 1 of 12</p>	NO.	REVISION	DATE	BY	1	REVISED AS PER CITY COMMENTS	12/17/20	PH	<p style="text-align: center;">TITLE SHEET</p> <p style="text-align: center;">SLATE AT GRAY'S LANDING</p> <p style="text-align: center;">DES MOINES, IOWA</p> <p style="text-align: center;">SNYDER & ASSOCIATES, INC.</p> <p style="text-align: center;">2727 SW SNYDER BLVD. ANNETT, IOWA 50023 515-364-2020 www.snyder-associates.com</p> <p style="text-align: right;">Project No: 1180793 Sheet 1 of 12</p>
NO.	REVISION	DATE	BY						
1	REVISED AS PER CITY COMMENTS	12/17/20	PH						

LEGEND

Table with columns: Features, Existing, Proposed. Lists various site features like Spot Elevation, Contour Elevation, Fence, Tree Line, etc.

BENCHMARKS

- DES MOINES VERTICAL DATUM
BM5578 ELEV=26.89
BM2 ELEV=21.58
BM3 ELEV=26.32

CONTROL POINTS

- POLK COUNTY COORDINATE SYSTEM
NAD83(2011)EPOCH 2010.00(147N) DERIVED - US SURVEY FEET

CITY OF DES MOINES BENCHMARK DATUM

- CP1 N=60430.39 E=85294.70
CP2 N=59821.54 E=85420.16
CP3 N=59444.96 E=85425.81

GENERAL NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES...
B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS...
C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.

FLOOD ZONE:

FLOOD ZONE DESIGNATION - THE PROPERTY SHOWN IS DESIGNATED ZONE "X" (AREA PROTECTED FROM 100-YEAR FLOOD BY LEVEE, DUNE, OR OTHER STRUCTURES SUBJECT TO POSSIBLE FAILURE OR OVERTOPPING DURING LARGER FLOODS)

ZONING (EXISTING AND PROPOSED)

GRAYS LANDING PUD CONCEPT PLAN 202018-0200

PROPERTY DESCRIPTION

LD1 1 GRAYS LANDING FLAT 1
PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ADDRESS

400 SW 11TH STREET

PROPOSED USE

APARTMENTS
132 DWELLING UNITS

PARKING:

ZONING REQUIRES NO OFF STREET PARKING FOR ANY USE.

UNDERGROUND PARKING 125 STALLS
EXTERIOR PARKING 35 STALLS

ACCESSIBLE PARKING UNDERGROUND PARKING 4 STALLS
EXTERIOR PARKING 160 STALLS

BIKE RACKS:

EXTERIOR BIKE PARKING LOCATIONS SHOWN
56 INTERIOR BIKE STORAGE SPACES SHOWN

DEVELOPMENT SCHEDULE

Table with columns: Activity, Schedule. Lists activities like Earthwork/Foundations, Underground Utilities, etc.

IMPERVIOUS SITE AREA

BUILDING 46,521 SF
PAVEMENT/SIDEWALK 31,527 SF
TOTAL, 516 IMPERVIOUS AREA 78,048

SETBACKS/BULK REGULATIONS

FRONT YARD 15' MAX.
REAR YARD 0'
SIDE YARD 0'
MIN. BUILDING HT. 35'

TRASH SERVICE

TRASH AND RECYCLING SERVICE WILL BE CONDUCTED IN THE UNDERGROUND PARKING GARAGE AREA. NO DUMPSTERS WILL BE PROVIDED OUTSIDE OF THE BUILDING, ELIMINATING THE NEED FOR A TRASH ENCLASURE.

CERTIFICATE OF OCCUPANCY

A CERTIFICATE OF OCCUPANCY ALLOWING THE BUILDING TO BE OCCUPIED BY RESIDENTS CANNOT BE ISSUED UNTIL THE ADDING SEGMENT OF TUTTLE STREET FROM BACK OF CURB TO PROPERTY LINE HAS BEEN COMPLETED.

BUILDING:

FOOTPRINT: 46,521 S.F.
BUILDING HEIGHT: 50' 0"

TAX ABATEMENT NOTES:

- ANY GROUND-MOUNTED OR WALL-MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
- ANY WALL-MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
- ALL UTILITIES SHALL BE UNDERGROUND UNLESS OTHERWISE ALLOWED PER SITE PLAN.

FOUR SUSTAINABILITY CREDITS BEING MET BY THE PROJECT:

- 1. BIKE RACKS FOR PUBLIC USE (100).
2. PRIMARY ENTRY WITHIN 1/4 OF MILE OF A DART TRANSIT STOP (2.2 MILE).
3. BUS STOP AT CORNER OF SW 9TH AND MURPHY.
4. REDEVELOPMENT OF A PREVIOUSLY DEVELOPED SITE.

- DD. IF THE TOTAL HEIGHT OF ANY RETAINING WALL(S) AS MEASURED FROM BASE OF FOOTING TO TOP OF WALL EXCEEDS FOUR FEET, A SEPARATE BUILDING PERMIT IS REQUIRED WITH A DESIGN AND CERTIFICATION BY A LICENSED PROFESSIONAL ENGINEER ACCOMPANIED BY STRUCTURAL CALCULATIONS.

PLANNING AND ZONING MEETING DATES:

XXXX XX, XXXX

URBAN DESIGN REVIEW BOARD MEETING DATES:

FEBRUARY 23, 2021

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE C/1 ASCE 38-02 STANDARD.
QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR DRG RECOLLECTIONS.
QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY (D) INFORMATION.
QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.
QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

UTILITY CONTACT INFORMATION

Table with columns: Utility Type, Contact Name, Phone, Email. Lists contacts for Communications, Electric, Fiber Optic, Sanitary Sewer, Storm Sewer, Water.

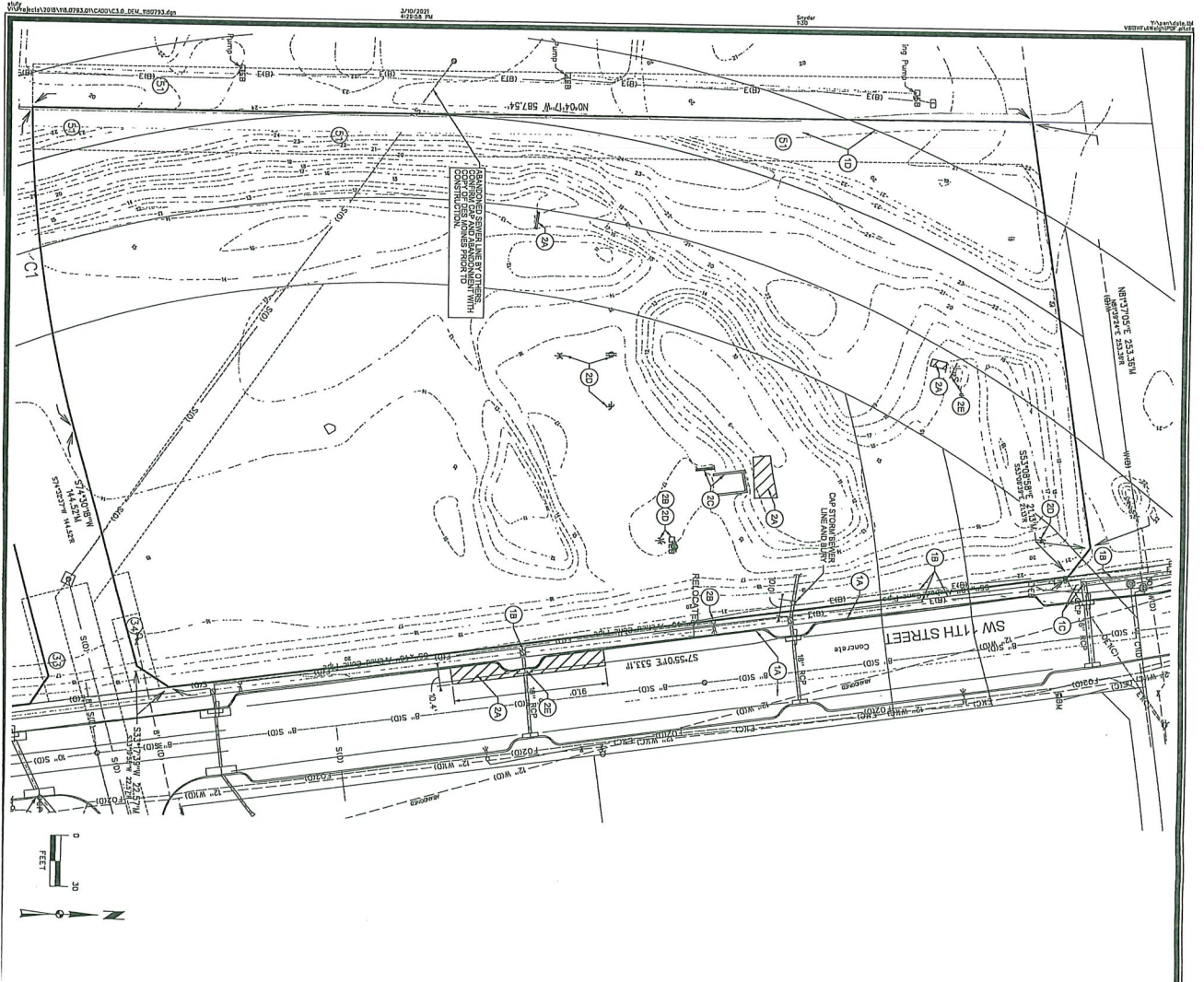
IOWA ONE CALL logo and contact information: 1-800-292-8989, www.iowaonecall.com

Table with columns: REVISION, DATE, BY. Lists revision history.

DES MOINES, IOWA
PROJECT INFORMATION
SLATE AT GRAY'S LANDING
SNYDER & ASSOCIATES, INC.
Project No: 1180793
Sheet 2 of 12

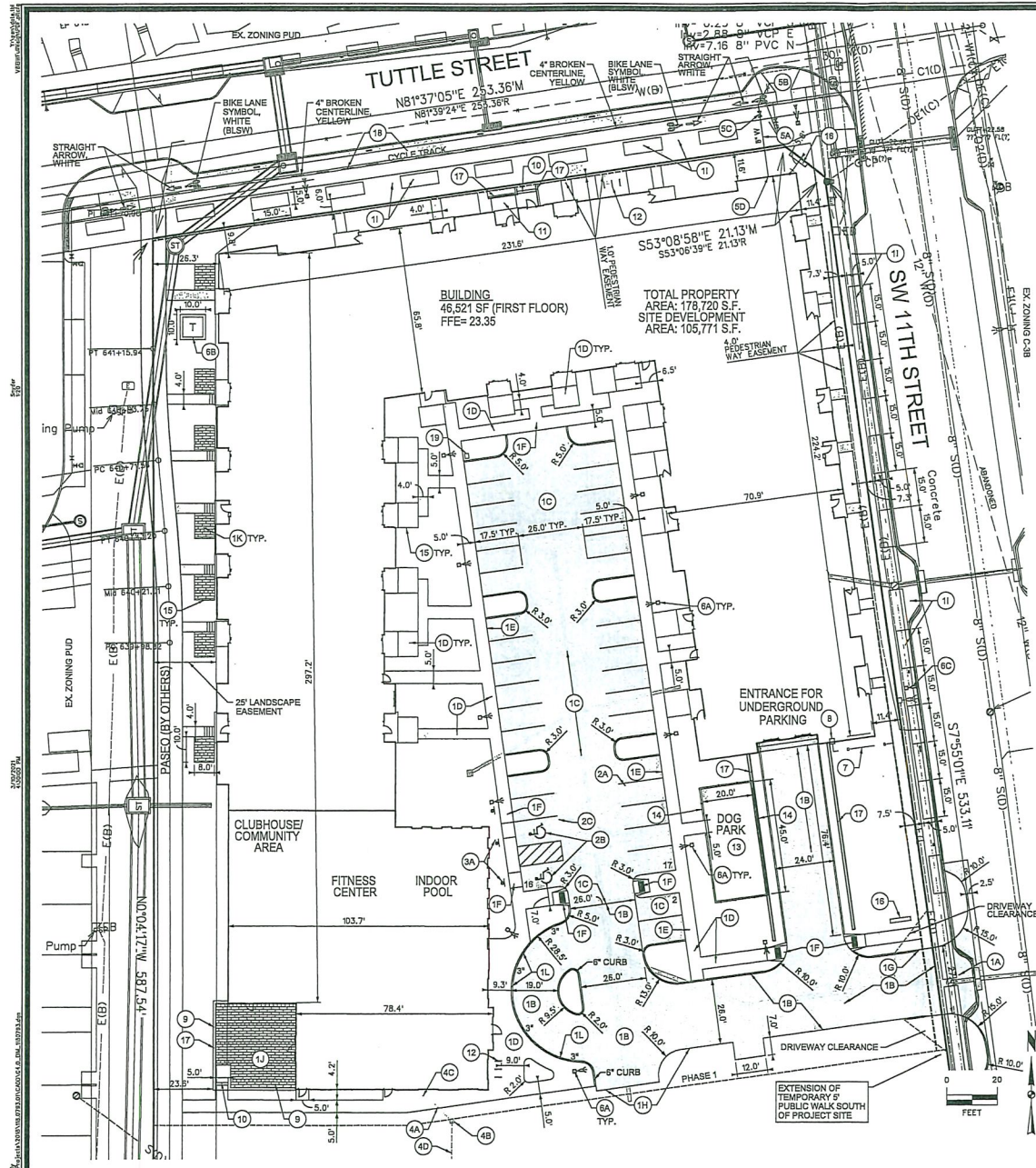
SNYDER & ASSOCIATES logo and contact information: 2727 SW SNYDER BLVD., 515-964-2020, www.snyderandassociates.com

Project No: 1180793
Sheet 2 of 12



- DEMOLITION PLAN CONSTRUCTION NOTES**
1. PROJECT AND SITE FEATURES NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT, ANY PROVIDED TO MEAS NOT BE DEMOLISHED OR ABANDONED. THE CONTRACTOR'S OBLIGATION IS TO DEMOLISH OR ABANDON THE PROJECT OR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DES MOINES, IOWA, AND THE IOWA DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE IOWA DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE IOWA DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY.
 2. REMOVE AND DISPOSE OF THE FOLLOWING EXISTING ITEMS:
 - A. EXISTING STRUCTURE TO BE DEMOLISHED.
 - B. EXISTING FOUNDATION TO BE DEMOLISHED.
 - C. EXISTING WALLS TO BE DEMOLISHED.
 - D. EXISTING ROOFING TO BE DEMOLISHED.
 - E. EXISTING ELECTRICAL, MECHANICAL, AND PLUMBING TO BE DEMOLISHED.
 - F. EXISTING UTILITIES TO BE DEMOLISHED.
 3. VERIFY EXISTING SITE CONDITIONS BEFORE BEGINNING DEMOLITION. REPORT ANY DISCREPANCIES OR UNUSUAL FINDINGS TO THE OWNER AND ARCHITECT IMMEDIATELY.

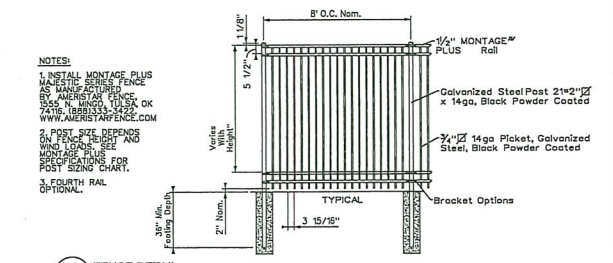
 SNYDER & ASSOCIATES Project No: 1180793		SLATE AT GRAY'S LANDING SITE BOUNDARY INFORMATION AND DEMOLITION PLAN DES MOINES, IOWA		2727 S.W. SNYDER BLVD. ANKENY, IOWA 50023 515-964-2020 www.snyder-associates.com	
Sheet 3 of 12		Project No: 1180793		Project No: 1180793	



DIMENSION PLAN CONSTRUCTION NOTES

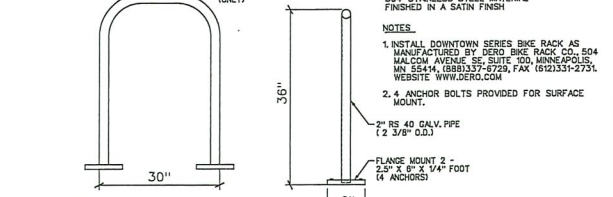
- PAVEMENTS, PROVIDE THE FOLLOWING:
 - 8" DEPTH PCC DRIVEWAY ENTRANCE, AS PER CITY OF DES MOINES STANDARDS.
 - 7" DEPTH PCC WITH 6" CURB ON 4" DEPTH GRANULAR BASE.
 - 6" DEPTH PCC WITH 6" CURB ON 4" DEPTH GRANULAR BASE.
 - 5" DEPTH PCC SIDEWALK WITH 6" CURB ON 4" DEPTH GRANULAR BASE.
 - INTEGRAL WALK AND 6" CURB.
 - PEDESTRIAN RAMP, 4.5% MAXIMUM SLOPE.
 - TAPER CURB IN 6".
 - NO CURB.
 - CLASS "A" SIDEWALK, 5" DEPTH PCC WITH TREE PITS, ALONG SW 11TH STREET AND TUTTLE STREET AS PER CITY OF DES MOINES STANDARDS.
 - 5" DEPTH COLORED STAMPED PCC COMMUNITY TERRACE.
 - 5" DEPTH COLORED STAMPED PCC DRIVEWAY ENTRANCE.
 - 3" ROLL CURB.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - 4" x 4" WIDE PAINTED PARKING STALL LINES YELLOW.
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL, YELLOW.
 - ACCESSIBLE ASBL, 45 DEGREE STRIPING AT 3' ON CENTER SPACING, YELLOW.
- CONCRETE, PROVIDE THE FOLLOWING:
 - VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS, MOUNTED TO A STEEL T POST WITH CONCRETE FOOTING.
 - ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS, MOUNTED TO A STEEL T POST WITH CONCRETE FOOTING.
- SANITARY SEWER, PROVIDE THE FOLLOWING:
 - 4" x 8" SANITARY SERVICE LINE, 28" PVC WITH INTEGRAL BELL AND SPIGOT JOINTS WITH ELASTOMERIC SEALS.
 - SEWER MANHOLE, SEE PLAN FOR STRUCTURE INFORMATION.
 - CONNECT TO BUILDING SANITARY SEWER SYSTEM, COORDINATE WITH PLUMBING PLANS.
 - CONNECT TO SANITARY SEWER SERVICE CONTRACTOR TO CONFIRM EXACT DEPTH AND LOCATION OF SERVICE PRIOR TO CONSTRUCTION.
- WATER SERVICE, PROVIDE THE FOLLOWING:
 - 8" DUCTILE IRON PIPE WITH NITILE GASKETS WATER SERVICE LINE TO BUILDING.
 - CONNECT TO WATER MAIN AS PER DMMW STANDARDS, CONTRACTOR TO COMPLETE AND SUBMIT WATER SERVICE APPLICATION TO DMMW PRIOR TO CONSTRUCTION.
 - 8" ISOLATION VALVE.
 - CONNECT TO BUILDING WATER SYSTEM, COORDINATE WITH PLUMBING PLANS.
- ELECTRICAL SERVICE AND SITE LIGHTING, COORDINATE WITH ELECTRICAL PLANS.
 - PARKING LOT AND DRIVE ISLE OVERHEAD LIGHTING SHALL CONSIST OF POLE MOUNTED LIGHTING NOT TO EXCEED 20' HEIGHT.
 - LIGHT LOCATIONS SHOWN FOR COORDINATION PURPOSES, PLEASE REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - TRANSFORMER PAD, COORDINATE SIZE AND REQUIREMENTS WITH UTILITY PROVIDER, CONTRACTOR TO PROVIDE CONCRETE PAD, SLEEVES, CONDUITS AND GRAVEL MOUNT AS PER UTILITY PROVIDER'S REQUIREMENTS.
 - EXISTING STREET LIGHTS ON SW 11TH STREET SHALL BE REPLACED WITH BLACK LED AUTOBARN POLES AND FIXTURES.
- COORDINATE GAS SERVICE ROUTING AND CONNECTION WITH UTILITY PROVIDER PRIOR TO CONSTRUCTION.
- GAS SERVICE BUILDING CONNECTION, COORDINATE WITH MECHANICAL PLANS FOR METER LOCATION AND SERVICE REQUIREMENTS.
- CONCRETE RETAINING WALL WITH DECORATIVE FENCE.
- CONCRETE STEPS WITH HANDRAIL.
- PEDESTRIAN RAMP WITH HANDRAILS AS PER ADAAG REQUIREMENTS.
- BIKE RACK AREA, PROVIDE 6 BIKE RACKS IN AREAS SHOWN (CAPACITY FOR 12 BIKES) SURFACE-MOUNTED TO PAVEMENT.
- DOG PARK AREA SURFACING AS PER OWNER (SYNTHETIC TURF).
- 4" HT. DECORATIVE METAL FENCING FOR DOG PARK WITH 5' WIDE PEDESTRIAN GATES, 6" HT. FENCE ON TOP OF ADJACENT SLATE MONUMENT SIGN.
- 4" HT. DECORATIVE METAL FENCING WITH 3' WIDE PEDESTRIAN GATE.
- SLATE MONUMENT SIGN.
- RETAINING WALL, SEE ARCHITECTURAL PLANS.
- THE PAVEMENT MARKINGS FOR THE CYCLE TRACK MUST BE COORDINATED WITH THE CITY TRAFFIC DEPARTMENT (515-283-4973) AND MUST MEET THE CITY OF DES MOINES SIGNING AND MARKING DESIGN STANDARDS AND POLICES.
- CAR CHARGING STATION.

DIMENSION LEGEND



1 FENCE DETAIL

4 NO SCALE



2 BIKE RACK DETAIL

4 NO SCALE

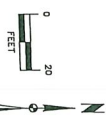
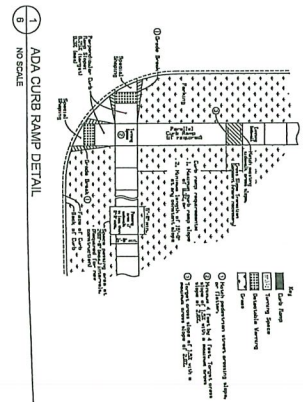
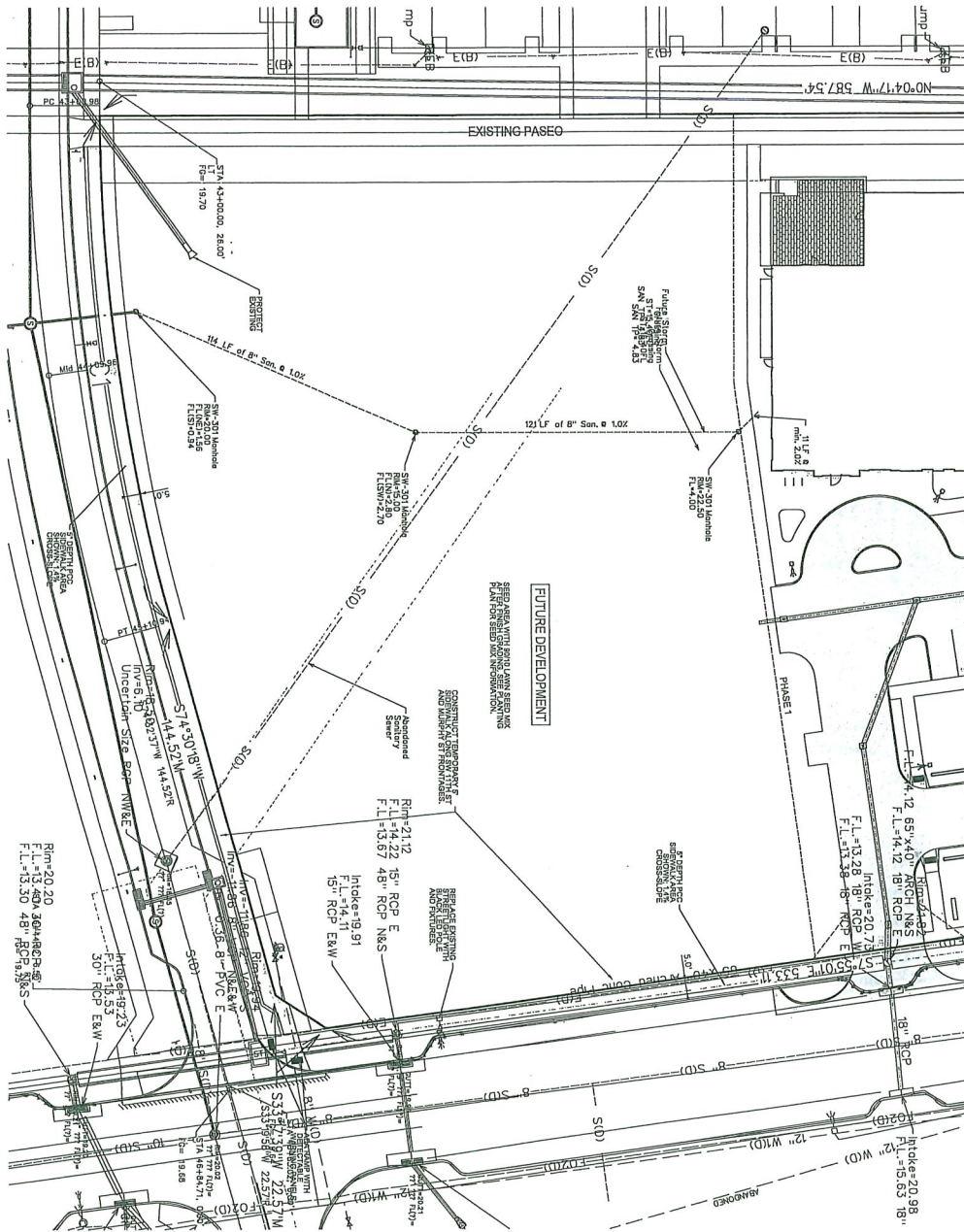
MARK	REVISED AS PER CITY COMMENTS	BY	DATE
1	REVISED AS PER CITY COMMENTS	EDIC	12/17/20

DES MOINES, IOWA
 Project No: 180793
 2727 S.W. SNYDER BLVD.
 515-984-2020 | www.snyderandassociates.com

SLATE AT GRAY'S LANDING
SITE LAYOUT PLAN
SNYDER & ASSOCIATES, INC.



Project No: 180793
 Sheet 4 of 12



SLATE AT GRAY'S LANDING

SIDEWALK AND UTILITY PLAN - SOUTH

DES MOINES, IOWA

SNYDER & ASSOCIATES, INC.

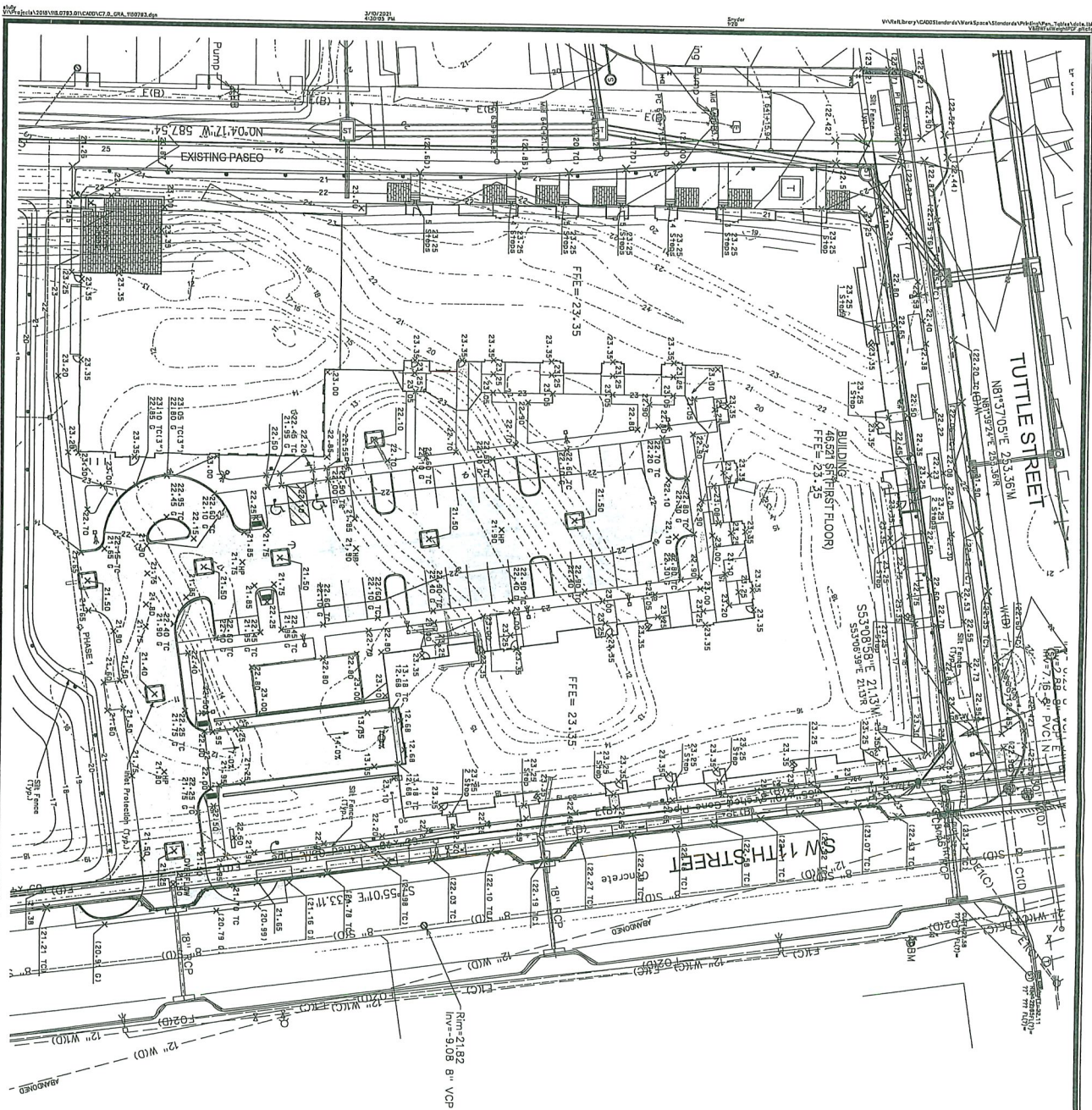
2727 S.W. SNYDER BLDV.
ANKENY, IOWA 50023
515-984-2020 | www.snyder-associates.com

MARK	REVISION	DATE	BY
1	REVISED AS PER CITY COMMENTS	03/10/21	STT

Engineer: EDC Checked By: TLW Scale: 1" = 20'
 Technician: STT Date: 12/17/20 Field Bk: Pgr

Project No: 1180793 Sheet 6 of 12


SNYDER & ASSOCIATES
 Project No: 1180793
 Sheet 6 of 12



- GRADING PLAN NOTES**
1. REFER TO THE SITE SPECIFIC TECHNICAL DATA SHEET FOR THE BUILDING AND SITE AS DESCRIBED BY THE ARCHITECT'S CONSTRUCTION PLAN TORSION OVER EXISTING GRADE.
 2. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED.
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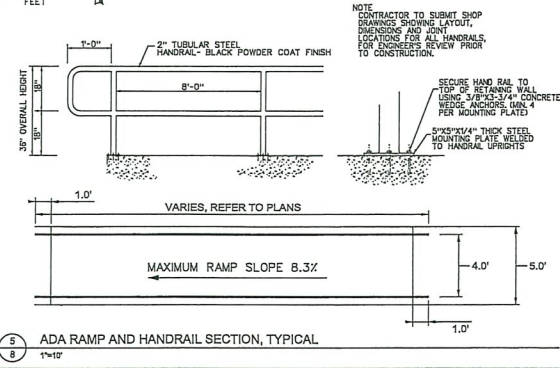
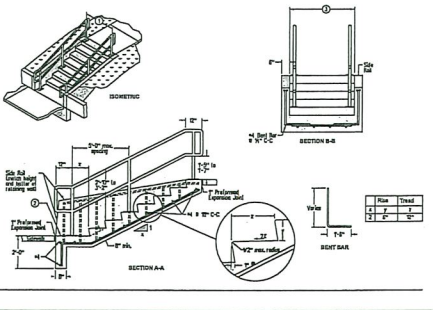
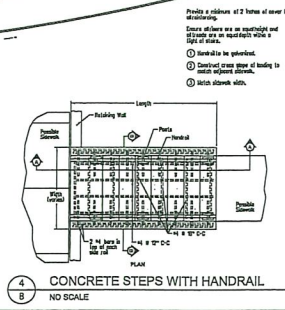
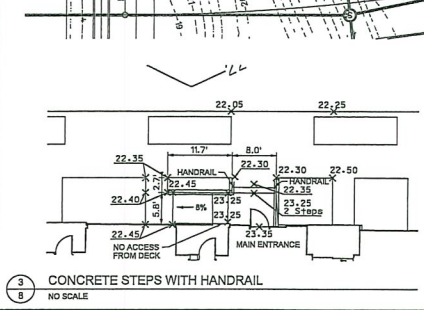
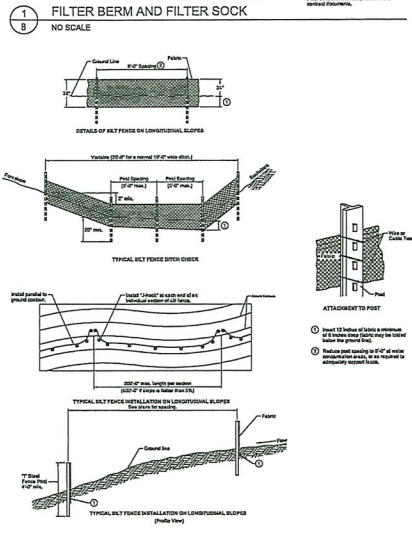
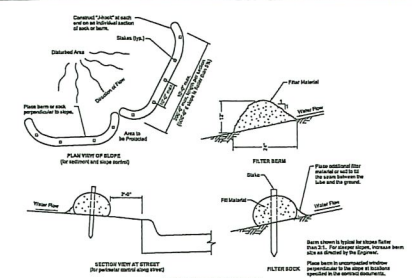
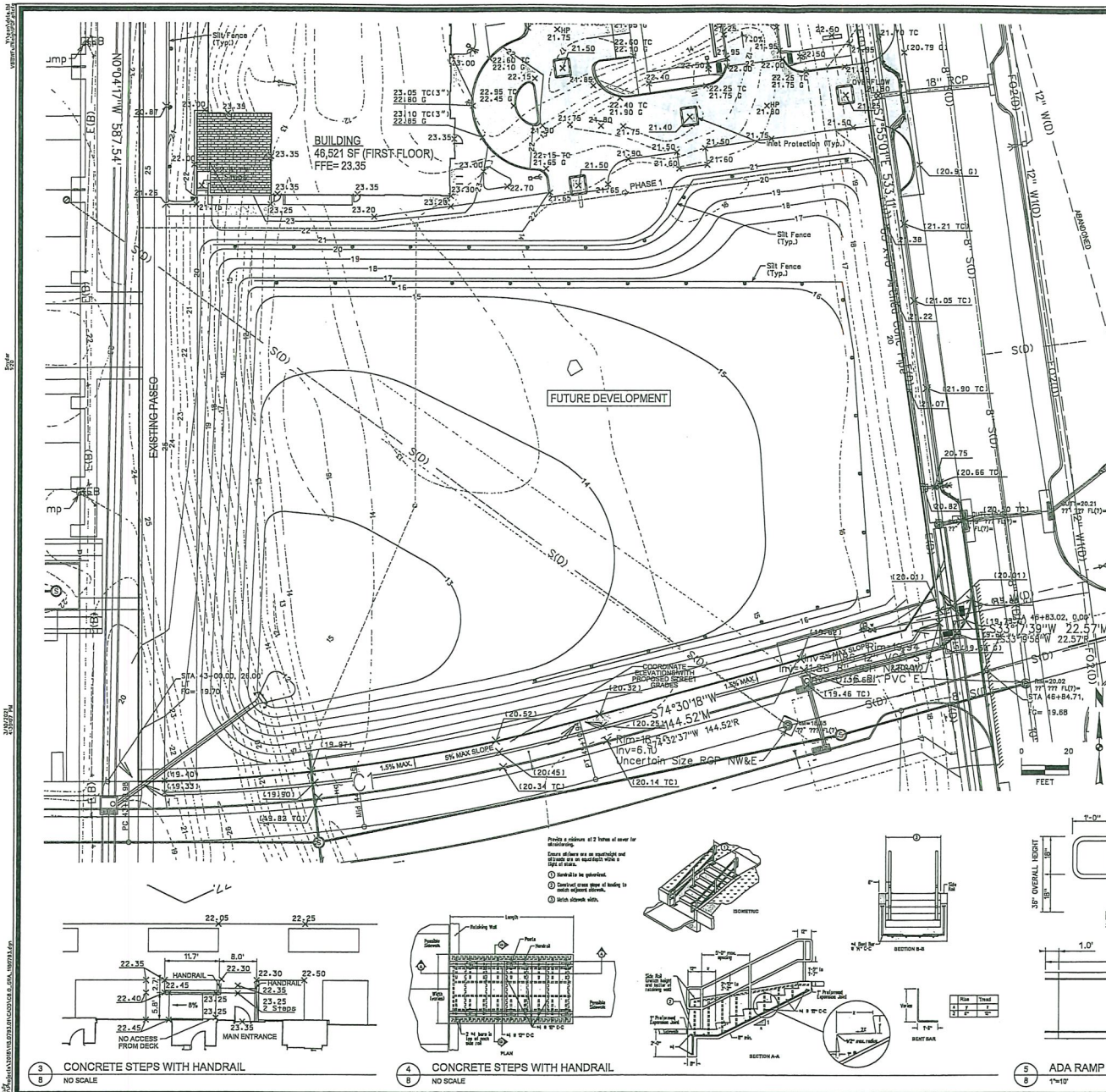
SLATE AT GRAY'S LANDING
GRADING, POLLUTION PREVENTION, AND EROSION CONTROL PLAN - NORTH DES MOINES, IOWA

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.
 4055 WALKER AVENUE
 515-984-2020 | www.snyder-associates.com

Project No: 180793 Sheet 7 of 12

Revised as per city comments 03/10/21
 Revision DATE DATE
 Engineer: EDC Checked by: TLW Scale: 1" = 20'
 Technician: STT Date: 12/17/20 Field by: Pp



REVISION	DATE	BY	SCALE
1	12/17/20	EDC	1"=20'

DES MOINES, IOWA
2727 S.W. SNYDER BLVD.,
ANKENY, IOWA 50023
618-984-2020 | www.snyder-associates.com

SLATE AT GRAY'S LANDING
GRADING, POLLUTION PREVENTION, AND EROSION CONTROL PLAN - SOUTH
SNYDER & ASSOCIATES, INC.



Project No: 180793
Sheet 8 of 12

DATE	12/17/20	SCALE	1"=20'
REVISION	1	ENGINEER	EDG
BY		CHECKED	TLW
		DATE	12/17/20
		PROJECT NO.	180793

2777 S.W. SNYDER BLVD.
ANN ARBOR, IOWA 50023
515-964-2022 | www.snyder-associates.com

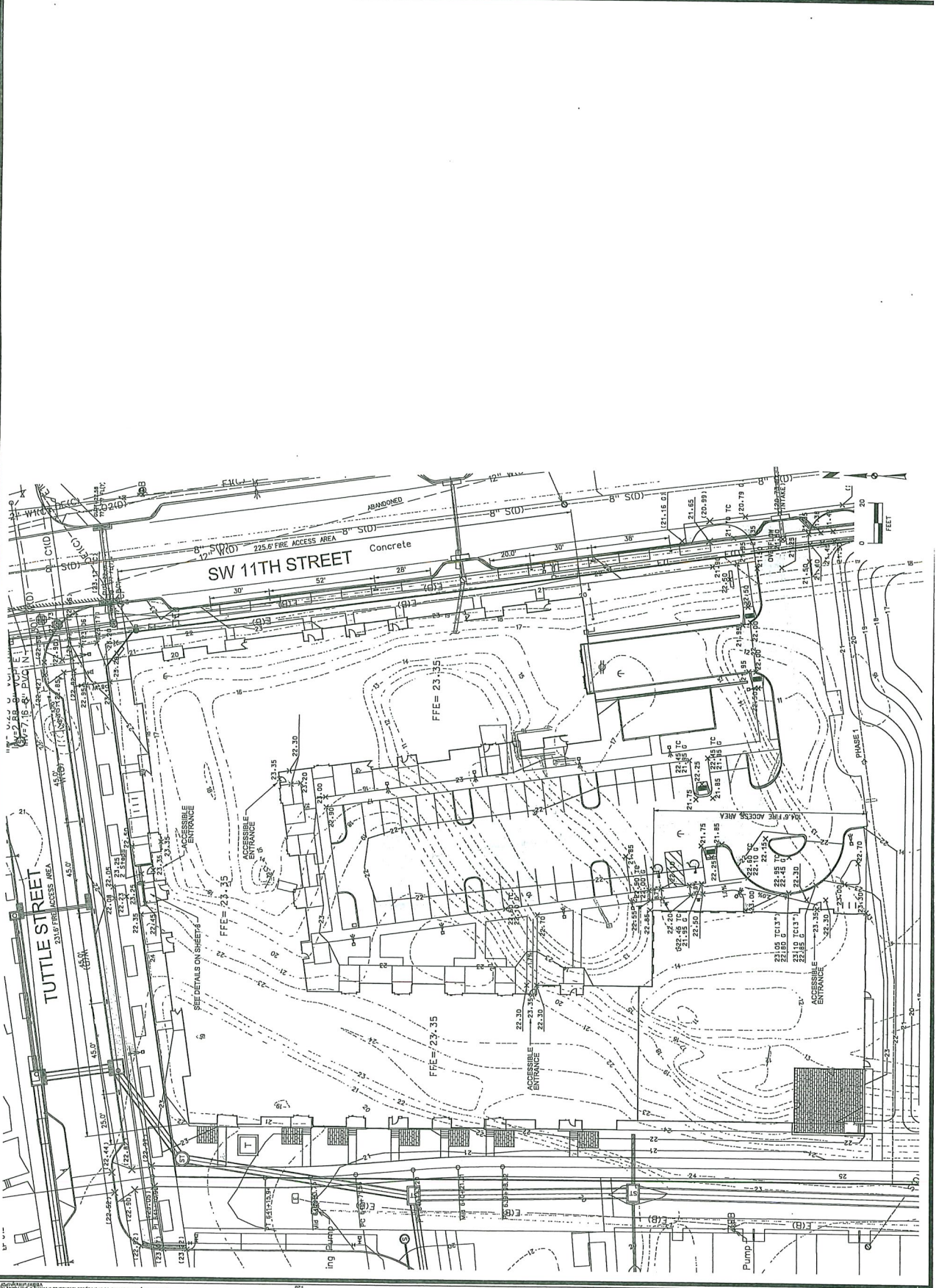
DES MOINES, IOWA

2777 S.W. SNYDER BLVD.
ANN ARBOR, IOWA 50023
515-964-2022 | www.snyder-associates.com

SNYDER & ASSOCIATES
PROJECT NO. 180793
Sheet 9 of 12

SITE ACCESSIBILITY PLAN
SLATE AT GRAY'S LANDING

SNYDER & ASSOCIATES, INC.

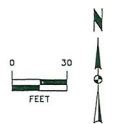




TREE MITIGATION PLAN CALCULATIONS

PHASE 1:
 ONE REPLACEMENT TREE PROVIDED FOR EACH 2000 S.F. OF CANNOPED AREA BASED ON AN EXISTING AERIAL FROM 2017, BEFORE THE TREES WERE REMOVED.
 5131 SF REMOVED
 $5131/2000 = 25.66$
 *26 MITIGATION TREES REQUIRED, 26 PROVIDED

FUTURE DEVELOPMENT PHASE:
 ONE REPLACEMENT TREE PROVIDED FOR EACH 2000 S.F. OF CANNOPED AREA BASED ON AN EXISTING AERIAL FROM 2017, BEFORE THE TREES WERE REMOVED.
 20,637 SF REMOVED
 $20,637/2000 = 10.32$
 *10 MITIGATION TREES REQUIRED, 11 WILL BE PROVIDED WITH FUTURE DEVELOPMENT



NO.	REVISIONS	DATE	BY	CHKD.
1	ISSUED AS PER CITY COMMENTS			

DES MOINES, IOWA

TREE MITIGATION PLAN

SLATE AT GRAY'S LANDING

2777 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-984-2020 | www.snyder-associates.com

Project No: 1180793

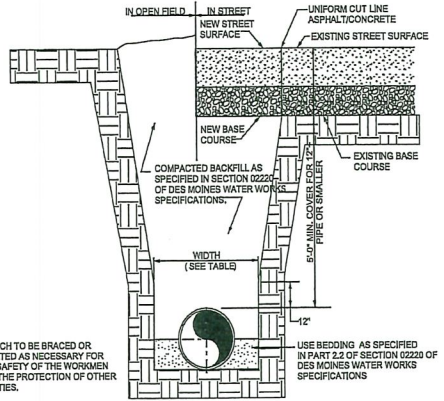
Sheet 10 of 12

SNYDER & ASSOCIATES

Project No: 1180793

Sheet 10 of 12

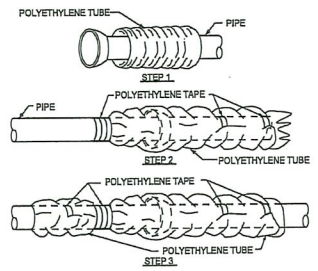
DES MOINES WATER WORKS ASSOCIATES, INC. 2777 S.W. SNYDER BLVD., ANKENY, IOWA 50023 619-964-2020 | www.snyder-associates.com



TRENCH TO BE BRACED OR SHIELDED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES.

PIPE DIAMETER	MINIMUM WIDTH	MAXIMUM WIDTH
4"	1'-4"	2'-4"
6"	1'-6"	2'-6"
8"	1'-8"	2'-8"
12"	2'-0"	3'-0"
16"	2'-4"	3'-4"
20"	2'-8"	3'-8"

TYPICAL TRENCH SECTION
Not to Scale

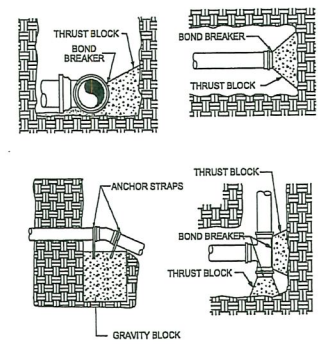


FIELD INSTALLATION - POLYETHYLENE WRAP

- Step 1 - Place tube of polyethylene material on pipe prior to lowering it into the trench
- Step 2 - Pull the tube over the length of pipe. Tape tube to pipe at joints. Fold material around the adjacent spigot end and wrap with tape to hold the plastic tube in place
- Step 3 - Overlap first tube with adjacent tube and secure with plastic adhesive tape. The polyethylene tube covering the pipe shall be loose. Excess material shall be neatly drawn up around the pipe barrel, folded on top and taped in place.

Note: Iron pipe fittings, including valves and hydrants shall be wrapped with two layers of polyethylene material. The wrapping shall extend at least 1' beyond the fitting joints onto the adjoining pipe and shall be fastened to the pipe with plastic tape. Tape shall be used as fastened to hold wrap in place. Either polyethylene sheets or slit tubing may be used.

POLYETHYLENE WRAP DETAIL
Not to Scale



VOLUME IN CUBIC YARDS

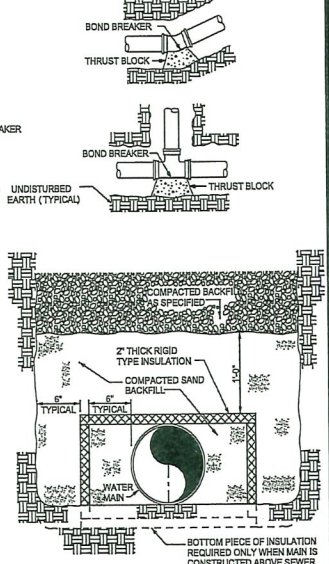
SIZE OF PIPE	11 1/4"	22 1/2"	45"	90"
4"	0.18	0.43	0.9	1.35
6"	0.18	0.43	0.9	1.35
8"	0.3	0.76	1.57	2.33
12"	0.65	1.63	3.33	4.92
16"	1.16	2.85	5.8	8.55
20"	1.78	4.37	8.91	13.34
24"	2.47	6.17	12.63	18.64
30"	3.82	9.51	19.43	28.65

VOLUME OF GRAVITY BLOCK
Not to Scale

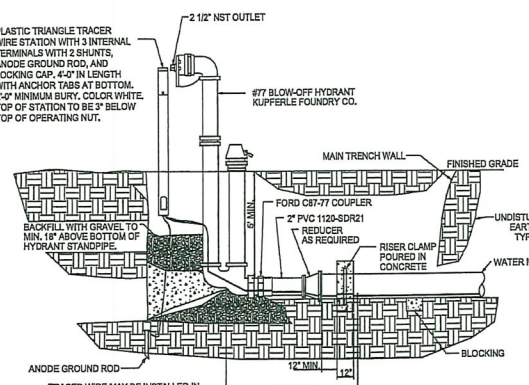
MINIMUM BEARING SURFACE (IN SQ. FT.)

SIZE OF PIPE	11 1/4"	22 1/2"	45"	90"	TEE OR DEAD END
4"	1.00	1.25	2.25	4.50	3.00
6"	1.00	2.00	4.00	7.90	6.25
8"	2.00	4.25	8.25	18.00	11.00
12"	8.00	16.25	28.00	48.00	35.00
20"	8.50	16.50	32.00	57.00	40.00
24"	9.00	18.00	35.00	65.00	45.00

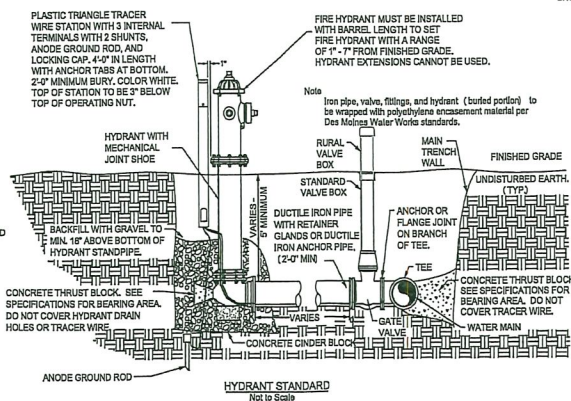
STANDARD CONCRETE THRUST BLOCKS
Not to Scale



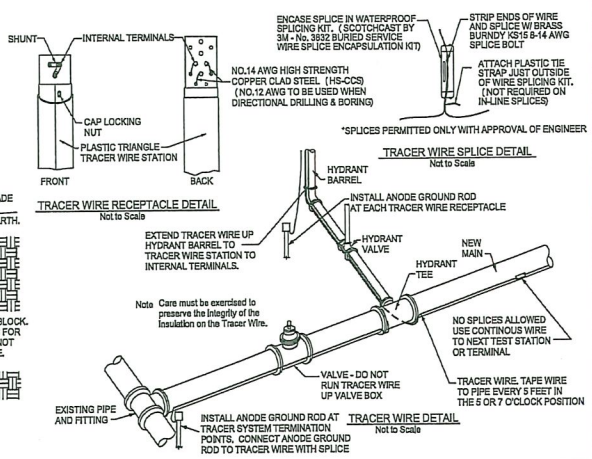
PIPE INSULATION DETAIL
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STANDARD BLOWOFF DETAIL
Not to Scale



HYDRANT STANDARD
Not to Scale



TRACER WIRE RECEPTACLE DETAIL
Not to Scale

TRACER WIRE SPlice DETAIL
Not to Scale

DRAWN BY:	NO.	DATE	REVISIONS
DESIGNED BY:			
CHECKED BY:			
APPROVED BY:			
DATE:			

Des Moines Water Works
Water You Can Trust for Life
ENGINEERING DEPARTMENT
Des Moines, Iowa

STANDARD DETAILS

FILE NUMBER

SHEET	1
OF	1
DATE	11/4/07
PROJECT NO.	1180793

REVISIONS

NO.	DATE	BY	REASON
1	12/17/20	TR	REVISED AS PER CITY COMMENTS
2			
3			

ENGINEER: EDC
CHECKED BY: T.W.
DESIGNED BY: S.T.T.
DATE: 12/17/20
PROJECT NO.: 180793

DES MOINES, IOWA
2777 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
619-964-2020 | www.snyder-associates.com

SLATE AT GRAY'S LANDING
DES MOINES WATER WORKS DETAILS
SNYDER & ASSOCIATES, INC.

Snyder & Associates



1201 American Blvd. E.
Suite 100
Minneapolis, MN 55426
Tel: (612) 878-6200
Fax: (612) 878-6228
www.wwwood.com

OWNER
Sherman Associates
223 PARK AVENUE SOUTH
SUITE 201
MINNEAPOLIS, MN 55415
P: 612-333-2000

PROJECT
Siale at Gray's Landing

450 SW 11th Street
Des Moines, Iowa

CONSULTANTS
CIVIL ENGINEER
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
AMES, IA 50002
P: 563-684-2000

GENERAL CONTRACTOR
BALL TEAM, LLC
10520 New York Ave #100
Urbandale, IA 50227
P: 515-442-4242

Project Number: 18042
Date: 3/2/2021
Drawn By: PHC
Checked By:

NOT FOR CONSTRUCTION

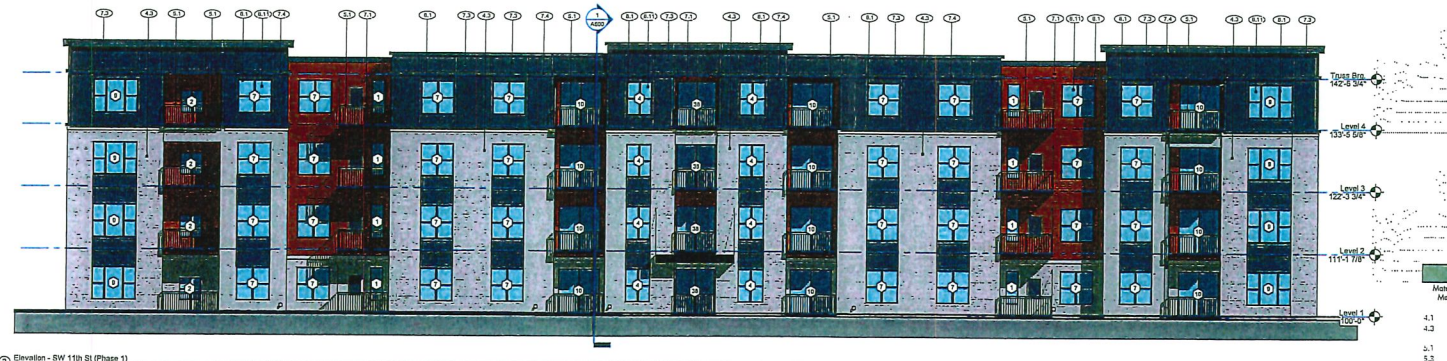
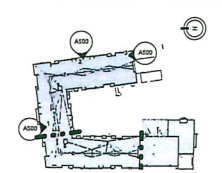
Exterior Elevations
As Indicated

- EXTENDED ELEVATION GENERAL NOTES:**
- SEE DRAWING SHEETS A21 FOR WINDOW/DOOR AND RAIL DETAILS.
 - SEE A21 AND A22 FOR CEILING/FLOOR DETAIL.
 - SEE SHEETS A23 AND A24 FOR ROOF DETAIL.
 - SEE SHEETS A25 AND A26 FOR ROOF DETAIL.
 - SEE A27 FOR WINDOW AND ALUMINUM STAIRWAY ELEVATIONS AND STYLES.
 - SEE A28 FOR CANOPY DETAIL.
 - PROVIDE CORNER JOINTS TO BE SQUARE. CORNER JOINTS SHALL BE 30" APART AND REINFORCED WITH 3#4 BARS. CORNER JOINTS SHALL BE 30" APART AND REINFORCED WITH 3#4 BARS. CORNER JOINTS SHALL BE 30" APART AND REINFORCED WITH 3#4 BARS.
 - PROVIDE BACKER ROD & GROUT BEHIND ALL PRECAST PANEL CONNECTIONS. PROVIDE VENT TUBES UNDER ROOF DECK.
 - PROVIDE AIR/WATER VAPOR BARRIER AT EXTERIOR PRECAST WALLS AND ROOF DECK.
 - ALL OUTSIDE CORNERS AT LAP JOINTS SHALL RECEIVE VERTICAL CORNER BOARDS BOTH SIDES OF CORNER SEE A21.
 - ALL HORIZONTAL TRIM BANDS AND/OR REVEALS THAT OCCUR ON THE FACE OF ANY UNIT TO RETURN BACK TO THE MAIN BODY OF THE BRICKING.
 - FOR VERTICAL JOINTS OF BRICKWORK MATERIALS FROM THE SAME MANUFACTURER.
 - JOINTS OF ALL BRICK STYLES SHALL BE FILLED AND FINISH TO MATCH ADJACENT BRICKS.
 - ALL BRICKS TO BE STANDARD BRICKS. BRICKS AND POINTS TO BE 1/2" IN THICK. BRICK POINTS SHALL BE 3/8" FROM ALL SURFACES. BRICKS CANNOT PASS THROUGH ANY OPENING.
 - SEE DETAIL A21 FOR REINFORCED CONCRETE ELEVATION DETAIL.
 - PROVIDE UPON CHRONOLOGICAL BUILDING SEQUENCE AS SHOWN ON ELEVATIONS.
 - IF ANY EXTERIOR WALL BONDAGES THAT HAVE A PERIOD OF EXPOSURE SHALL HAVE A PROTECTIVE COATING APPLIED TO THE SURFACE OF THE BONDAGE. BONDAGES SHALL BE PAINTED TO MATCH THE SURFACE OF THE WALL. BONDAGES SHALL BE PAINTED TO MATCH THE SURFACE OF THE WALL.
 - ALL MECHANICAL COVERS SHALL BE PAINTED TO MATCH THE SURFACE OF THE WALL. COVERS TO BE SELECTED BY ARCHITECT.
 - ALL MATERIALS TO BE SELECTED TO THE MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE AN ANCHORING SYSTEM WITH PREPARED METAL DRIP CAP AT ALL EXTERIOR CORNERS. DRIP CAPS SHALL BE 1/2" WIDE. DRIP CAPS SHALL BE 1/2" WIDE.
 - PROVIDE ANCHORING SYSTEM WITH PREPARED METAL DRIP CAP AT ALL EXTERIOR CORNERS. DRIP CAPS SHALL BE 1/2" WIDE. DRIP CAPS SHALL BE 1/2" WIDE.

MATERIAL KEY

Material Mark	Description
4.1	ROCK-FACE CMU - COLOR: GRAY
4.2	FINISH FACED STONE VENEER - COLOR: SEA-SALT
5.1	ALUMINUM BALCONY - COLOR: BRICK SIGNAGE
7.1	CFB LAF - COLOR 1
7.2	CFB TRIM - COLOR 1
7.3	CFB PANEL SIGNAGE COLOR 2
7.4	CFB TRIM - COLOR 2
8.1	WINDOW - COLOR: LEAD
8.2	HVAC COVER - COLOR: TRS
8.11	GLAZING

EXTENDED MATERIAL LEGEND

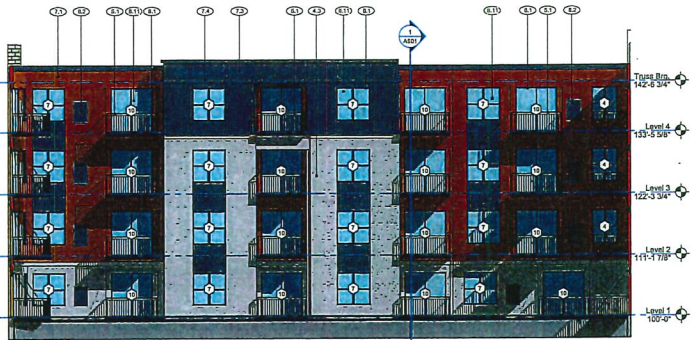


Blank area for notes or additional specifications.

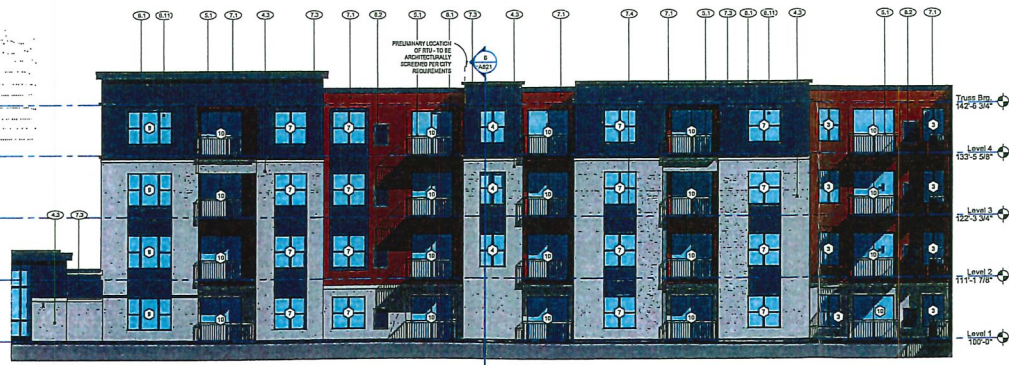
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 1/8" = 1'-0"



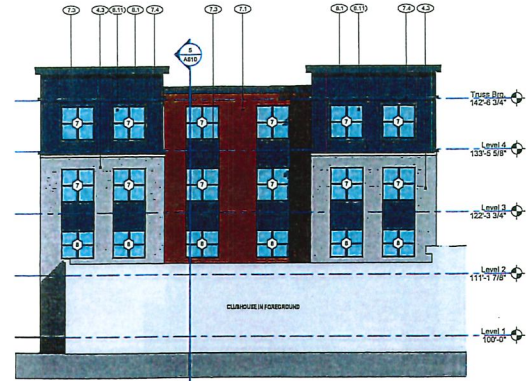
1 Elevation - Courtyard 2
1/8" = 1'-0"



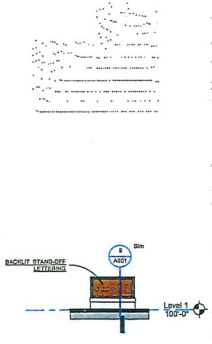
2 Elevation - Main Entry
1/8" = 1'-0"



3 Elevation - Courtyard 1
1/8" = 1'-0"



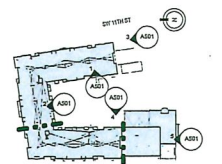
4 Elevation - South Above Chubbouse
1/8" = 1'-0"



5 Elevation - Monument Sign 1
1/8" = 1'-0"

Material Mark	Description
4.1	POKER-FACE CHALK - COLOR: GRAY
5.1	MANUFACTURED STONE VENEER - COLOR: SEA-SALT
5.2	ALUMINUM BALCONY - COLOR: BLACK
5.3	SIGNAGE
7.1	CFS LIP - COLOR: 1
7.2	CFS TRIM - COLOR: 1
7.3	CFS FINISH SIDING COLOR: 2
7.4	CFS TRIM - COLOR: 2
8.1	VENEER - COLOR: BLACK
8.2	WALL COVER - COLOR: TRD
8.11	CHANGING

EXTERIOR MATERIAL LEGEND	
MANUFACTURED STONE VENEER (POKER-FACE CHALK)	[Color swatch]
ALUMINUM BALCONY	[Color swatch]
CFS LIP - COLOR 1	[Color swatch]
CFS TRIM - COLOR 1	[Color swatch]
CFS FINISH SIDING COLOR 2	[Color swatch]
CFS TRIM - COLOR 2	[Color swatch]
VENEER - COLOR: BLACK	[Color swatch]
WALL COVER - COLOR: TRD	[Color swatch]
CHANGING	[Color swatch]
SPLIT FACE CHALK	[Color swatch]
COLORED GLASS	[Color swatch]



- EXTERIOR ELEVATION GENERAL NOTES**
1. SEE CHANGING SIGNAGE AND SIGNAGE FOR JABS AND BILLBOARDS.
 2. SEE JABS FOR EXTERIOR FULL DETAILS.
 3. SEE SIGNAGE FOR EXTERIOR FULL DETAILS.
 4. SEE SIGNAGE AND JABS FOR SIGNAGE INCLUDING FLASHING REQUIREMENTS.
 5. SEE JABS FOR WINDOW AND ALUMINUM SIGNAGE REQUIREMENTS AND DETAILS.
 6. SEE JABS FOR CANOPY DETAILS.
 7. PROVIDE COATING JOINTS IN CHALK WALLS EVERY 24" ON BRICKWORK AND EXTERIOR VENEER, OR NOT SHOWN ON JABS.
 8. PROVIDE WATER PROOFING AND FLASHING OF PRECAST PANEL CONNECTIONS. PROVIDE NOTED WATER DRAINAGE DETAILS.
 9. PROVIDE INTERIOR WATER REVEALS AT EXTERIOR WINDOW HEADS.
 10. ALL EXTERIOR CONNECTIONS AT JABS SHOULD RECEIVE VERTICAL COVER BOARD, NOT BEARDS OF CONCRETE SEE JABS.
 11. ALL HORIZONTAL JABS SHOULD RECEIVE THE COVER BOARD ON THE FACE OF THE JAB AND RETURN BACK TO THE MAIN BODY OF THE BUILDING.
 12. FOR VERTICAL JABS OF SIMILAR MATERIALS VERIFY WITH ARCHITECT.
 13. VERIFY ALL EXTERIOR WALLS SHALL BE MAINTAINED AND PAINTED TO MATCH EXTERIOR FINISHES. VERIFY WITH ARCHITECT.
 14. ALL SIGNAGE TO BE MAINTAINED, PAINTED AT EXTERIOR AND PAINTED TO MATCH EXTERIOR FINISHES. VERIFY WITH ARCHITECT.
 15. SEE DETAIL JABS FOR EXTERIOR SIGNAGE REQUIREMENTS.
 16. PROVIDE UNIFORM COLOR AND FINISH LIGHTING AS SHOWN ON ELEVATIONS.
 17. JABS EXTERIOR WALL SIGNAGE SHALL HAVE A MINIMUM SURFACE ELEVATION FROM THE MAIN BODY OF THE BUILDING TO THE MAIN BODY OF THE BUILDING. VERIFY WITH ARCHITECT.
 18. INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
 19. ALL CONCRETE EXTERIOR FINISHES SHALL RECEIVE WATER PROOFING AND FLASHING AT EXTERIOR WINDOW HEADS AND AT EXTERIOR CONNECTIONS. PROVIDE NOTED WATER DRAINAGE DETAILS.
 20. PROVIDE 3/4" CFS BRICKWORK BLOCK WITH PORTLAND CEMENT MORTAR AT ALL EXTERIOR CONNECTIONS. PROVIDE NOTED WATER DRAINAGE DETAILS.
 21. DISCREPANCY SHOWN IN ELEVATIONS FOR REPRESENTATIONAL PURPOSES ONLY. SEE COLOR DRAWINGS FOR CLARIFICATION INFORMATION.

KW
KIMMEL WOOD ARCHITECTS
1251 Anderson Blvd. E.
Suite 100
Shoreline, MN 55482
Tel: (612) 879-8000
Fax: (612) 879-8000
www.kimmellwood.com

OWNER
Sherman Associates
233 PARK AVENUE SOUTH
SUITE 201
MINNEAPOLIS, MN 55415
P: 612-332-2000

PROJECT
Site at Gray's Landing
422 SW 11th Street
Des Moines, Iowa

CONSULTANTS
CIVIL ENGINEER
CHUCKER & ASSOCIATES, INC.
2727 SW SYNDER BOULEVARD
AMES, IA 50002
P: 563-564-2000

GENERAL CONTRACTOR
SMALL TEAM, LLC
12020 NEW YORK AVE #100
Urbana, IA 52582
P: 319-444-4444

Project Number: 18048
Date: 202001
Drawn By:
Checked By:

NOT FOR CONSTRUCTION

Rev. No. _____
Date _____
Revision _____
Rev. No. _____

Exterior Elevations
As Indicated
A501

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OWNER
 Sherman Associates
 233 PARK AVENUE SOUTH
 SUITE 200
 MINNEAPOLIS, MN 55415
 TEL: 612.332.3000

PROJECT
 Slate at Gray's Landing
 402 SW 16th Street
 Des Moines, Iowa

CONSULTANTS
 CIVIL ENGINEER
 SENTER & ASSOCIATES, INC.
 2727 SW SYDNER BOULEVARD
 ANKENY, IA 50023
 P. 888.854.2020

GENERAL CONTRACTOR
 BALL TEAM, LLC
 6500 New York Ave #100,
 Urbandale, IA 50222
 P. 515.440.4544

Project Number: 16342
 Date: 3/20/11
 Drawn By: Austin
 Checked By: Checker

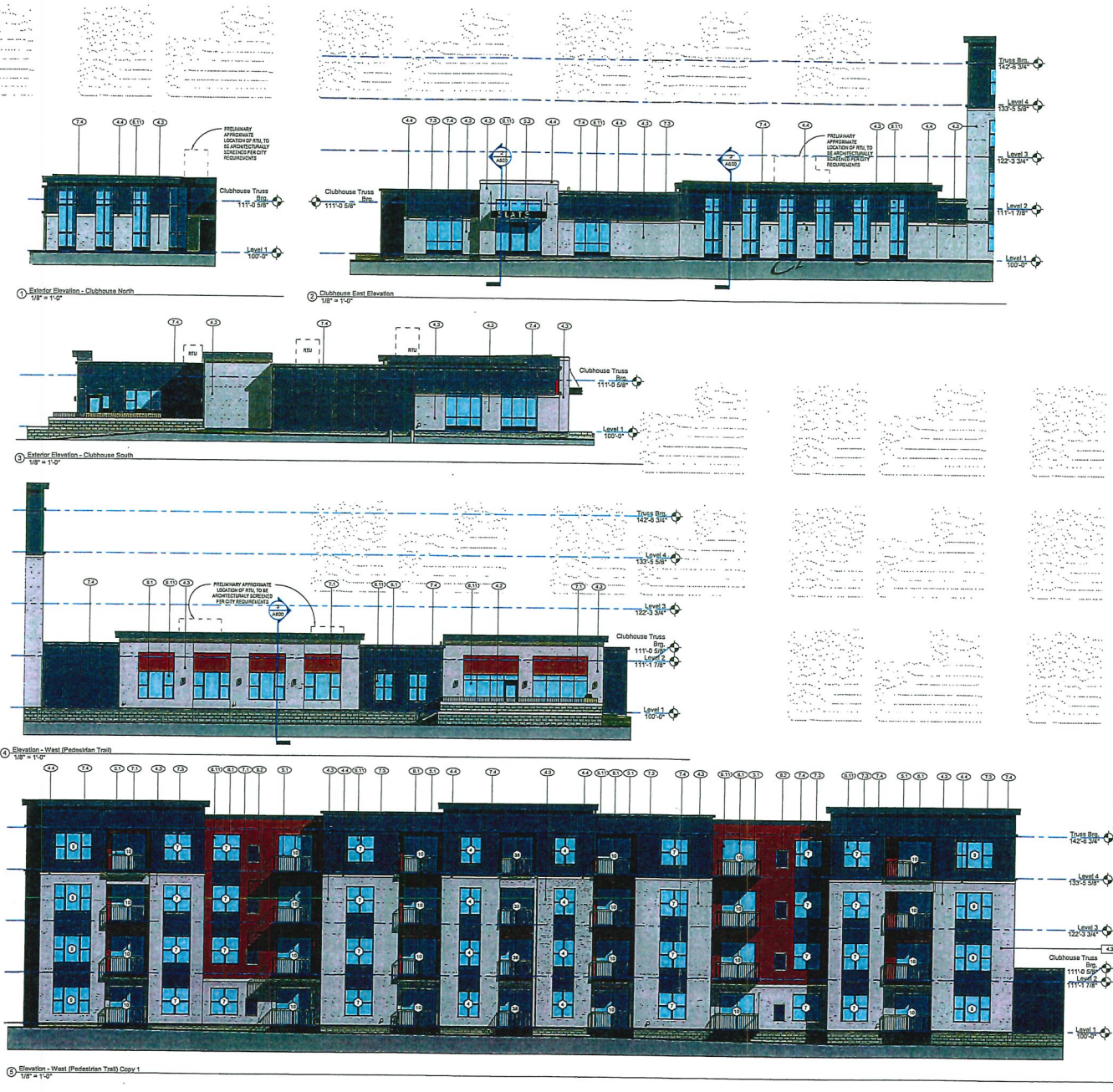
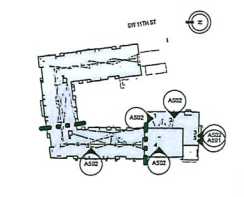
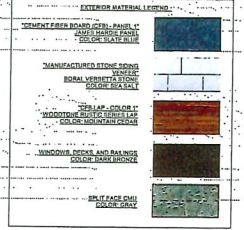
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Exterior Elevation
 As Indicated
A502

- EXTERIOR ELEVATION GENERAL NOTES**
- SEE GENERAL NOTES FOR WINDOW, DOOR AND SILL DETAILS.
 - SEE AREA FOR EXTERIOR WALL DETAILS.
 - SEE SHEETS ADD FOR EXTERIOR WALL TYPES.
 - SEE SHEET ADD FOR WINDOW TYPES, INCLUDING FINISH REQUIREMENTS.
 - SEE ADD FOR WINDOW AND ALUMINUM EXTERIOR ELEVATION TYPES.
 - SEE ADD FOR CASPIQ DETAILS.
 - PROVIDE CONTINGENT JOINTS IN CURB WALLS EXCEPT 2" IF WINDOW HEADS OR SILLING HEADS OR NOT SHOWN ON ELEVATION.
 - PROVIDE SILLING AND CASPIQ BOTTOM SILLING OF PRODUCT PANELS CONFORM TO PROJECT SPECIFICATIONS.
 - PROVIDE INTERIAL WALLS AND EXTERIAL AP EXTERIOR PRECAST VALS AS SPECIFIED.
 - IN ALL OUTLET CURB WALLS AND REVEALS PROVIDE VERTICAL CURB EDGE, BOTH SIDES OF CURB, SEE ADD.
 - ALL HORIZONTAL TRIM AND REVEALS THAT OCCUR ON THE FACE OF ANY SILL TO RETURN BACK TO THE MAIN BODY OF THE CURB.
 - FOR VERTICAL FINISH OF CURB MATERIALS VERIFY WITH ARCHITECT.
 - JOINTS OF ALL STONE SHALL BE RATED AND FILL WITH MATCHING GRANITE.
 - ALL RAILINGS TO BE ALUMINUM RAILING AT SPECIFIC RAILING TO BE CHANGING. RAIL SPACING SHALL BE SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH OPENING.
 - SEE DETAIL ADD FOR CASPIQ RAILING ALUMINUM RAILING.
 - PROVIDE FINISH FOR VERTICAL BUILDING LIGHTING AS SHOWN ON ELEVATION.
 - IF ANY OTHER WALL LOGGIES THAT HAVE A FINISH SURFACE EXIST THEY SHALL BE MAINTAINED AS SHOWN. IF ANY IN THE HOLDING SURFACE UNDER THE EXISTING FINISH SHALL BE MAINTAINED AS SHOWN.
 - ALL HORIZONTAL DOWNERS SHALL BE PAINTED TO MATCH THE EXISTING WALL COLOR. DOWNERS SHALL BE PAINTED TO MATCH THE WALL SURFACE.
 - ALL HORIZONTAL DOWNERS SHALL BE PAINTED TO MATCH THE EXISTING WALL COLOR. DOWNERS SHALL BE PAINTED TO MATCH THE WALL SURFACE.
 - INSTALL ALL MATERIALS PER MANUFACTURERS RECOMMENDATIONS.
 - ALL CONNECTIONS TO EXISTING TO BE MAINTAINED AS SHOWN.
 - PROVIDE 5/8" OR LIGHTER SECTION. PROVIDE 5/8" OR LIGHTER SECTION. PROVIDE 5/8" OR LIGHTER SECTION. PROVIDE 5/8" OR LIGHTER SECTION.
 - TOPOGRAPHY SHOWN IN ELEVATIONS IS FOR INFORMATIONAL PURPOSES ONLY. SEE CIVIL DRAWINGS FOR GRADING INFORMATION.

MATERIAL KEY

Material Mark	Description
1.1	SOCC FACE CMU - COLOR: GRAY
2.3	MANUFACTURED STONE VENEER - COLOR: SEA SALT
2.1	ALUMINUM BALCONY - COLOR: BLACK
2.2	CFB LAP - COLOR: 1
2.2	CFB TERN - COLOR: 1
2.2	CFB PANEL SIDING COLOR: 2
2.4	CFB TERN - COLOR: 2
8.1	WINDOW - COLOR: BLACK
8.2	TRUCK COVER - COLOR: TRUCK COVER
8.11	OUTLINE



Client: 16182 - Sherman - Des Moines - Gray's Landing, Slate, VEG, 16/18/11
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VIEW FROM CORNER OF 11TH ST. AND TUTTLE ST.



TUTTLE ST. ENTRANCE



PASSEO AT TUTTLE



11TH STREET FACADE AND SITE ENTRANCE



CLUBHOUSE AT PASSEO FROM SOUTH



CLUBHOUSE AT PASSEO FROM NORTH



1321 American Blvd. E.
Suite 100
Bloomington, MN 55425
tel: (612) 879-0200
fax: (612) 879-6665
www.j2arch.com

OWNER
Sherwin Associates
223 PARK AVENUE SOUTH
SUITE 201
MINNEAPOLIS, MN 55415
P: 612-332-2000

PROJECT
Slate at Gray's Landing

450 SW 11th Street
Des Moines, Iowa

CONSULTANTS

CIVIL ENGINEER
ENYDER & ASSOCIATES, INC.
2727 SW BYWIDER BOULEVARD
ANENY, IA 50023
P: 888-864-2020

GENERAL CONTRACTOR
BELL TRAIL LLC
10205 New York Ave #100,
Urbandale, IA 50322
P: 515-467-4544

Project Number 18942
Date 1/11/2021
Drawn By PAC
Checked By Checker

NOT FOR CONSTRUCTION

Date

Revision

Rev. No.

Conceptual
Renderings
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A900

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1321 American Blvd. E., Suite 100, Bloomington, MN 55425
Tel: (612) 879-0200 Fax: (612) 879-6665 www.j2arch.com