



Date February 24, 2020

RESOLUTION SETTING HEARING ON REQUEST FROM NEWBURY LIVING TO REZONE AND APPROVE PUD CONCEPTUAL PLAN FOR PROPERTY LOCATED AT 3801, 3721, 3707 AND 3705 GRAND AVENUE AND 3810 INGERSOLL AVENUE

WHEREAS, the City Plan and Zoning Commission has advised that at a public hearing held on February 6, 2020, its members voted 11-0 in support of a motion to recommend **APPROVAL** of a request from Newbury Living (applicant), represented by Frank Levy (officer), to rezone real property locally known as 3801, 3721, 3707 and 3705 Grand Avenue and 3810 Ingersoll Avenue (“Property”) from “R-4” Multiple-Family Residential District and “NPC” Neighborhood Pedestrian Commercial District to “PUD” Planned Unit Development, and to approve the “3801 Grand Avenue” PUD Conceptual Plan for the Property, to allow for development of a 4-story, 57-unit multi-household independent senior living apartment building, in addition to an existing 4-story, 35-unit independent senior living apartment building, an existing 3-story, 56-unit assisted living apartment building, and an existing 2-story, 5,720-square foot office building, subject to the following revisions to the PUD Conceptual Plan:

1. Provision of a note that states, “landscaping and buffering shall be provided in accordance with the City’s Landscaping Standards in place at the time the Development Plan is submitted, or exceeded as illustrated on the Conceptual Plan or as determined necessary by the City’s Planning Administrator.”
2. Provision of a note that states, “all site lighting shall be directed downward and shielded from adjoining properties. Any pole mounted lighting along private walkways shall not exceed 15 feet in height and any pole mounted lighting in a parking area shall not exceed 20 feet in height.”
3. Provision of a note that states, “direct light trespass beyond property lines is prohibited. The maximum horizontal illuminance at grade and the maximum vertical illuminance at five feet above grade measured at the property line should not exceed Illuminating Engineering Society of North America (IESNA) recommended practices for light trespass. (0.5 foot-candles for residential, 2.0 foot-candles for commercial). The Development Plan must contain illuminance models showing light levels throughout the site.”
4. Provision of a note that states, “all utility and similar service lines to buildings on the property shall be located underground.”
5. Provision of a note that states, “all overhead utility and similar service lines within the adjoining portions of rights-of-way shall be located underground with any Development Plan.”
6. Provision of a note that states, “all utility meters, transformers, ground-mounted equipment, and other utilities shall be placed along rear or side facades that are internal to the site to the satisfaction of the City’s Planning Administrator.”
7. Provision of a note that states, “all reuse and recycling containers shall be stored within a building or within a trash enclosure constructed of masonry walls with solid steel gates as approved with any Development Plan.”
8. Provision of a note that states “all roof-mounted equipment shall be screened on all sides equal to the height of the equipment with architecturally integrated material.”
9. Provision of a note that states “the finalized number and placement of drive approaches shall be determined with any PUD Development Plan.”
10. Note D for Tract 2 on Sheet 1 shall be revised so that it references the parking standards for the MX2 District.
11. Note G for Tract 2 on Sheet 1 shall be revised so that the first and third sentences are deleted.
12. Provision of a note that states “any Development Plan shall comply with the City’s storm water management requirements to the satisfaction of the City Engineer.”



Date February 24, 2020

- 13. Provision of a note that states "tree removal and mitigation calculations must be submitted with any PUD Development Plan in accordance with Section 42-550 of the Municipal Code."; and

WHEREAS, the Property is legally described as follows:

THE EAST 50 FEET OF LOT 13; ALL OF LOTS 14, 15, 16; THE SOUTH 68.75 FEET OF LOT 17; THE SOUTH 434.00 FEET OF LOT 18; THE SOUTH 300 FEET OF LOT 19; ALL OF LOT 20; AND THE SOUTH 292 FEET OF LOT 22 ALL IN THE OFFICIAL PLAT OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 78 NORTH, RANGE 24 WEST OF THE 5TH P.M., NOW INCLUDED IN AND FORMING A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Des Moines, Iowa, as follows:

- 1. That the attached communication from the Plan and Zoning Commission is hereby received and filed.
2. That the meeting of the City Council at which the proposed rezoning and proposed PUD Conceptual Plan is to be considered shall be held at the Council Chambers, City Hall, 400 Robert D. Ray Drive, Des Moines, Iowa, at 5:00 p.m. on March 9, 2020, at which time the City Council will hear both those who oppose and those who favor the proposals.
3. That the City Clerk is hereby authorized and directed to cause notice of said proposals in the accompanying form to be given by publication once, not less than seven (7) days and not more than twenty (20) days before the date of hearing, all as specified in Section 362.3 and Section 414.4 of the Iowa Code.

MOVED BY _____ TO ADOPT.

FORM APPROVED:

Glenna K. Frank (handwritten signature)

Glenna K. Frank, Assistant City Attorney

(ZON2019-00237)

Table with 5 columns: COUNCIL ACTION, YEAS, NAYS, PASS, ABSENT. Rows include COWNIE, BOESEN, GATTO, GRAY, MANDELBAUM, VOSS, WESTERGAARD, and TOTAL.

MOTION CARRIED APPROVED

CERTIFICATE

I, P. KAY CMELIK, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

Mayor

City Clerk



Date February 24, 2020
 Agenda Item 15
 Roll Call # _____

February 18, 2020

Honorable Mayor and City Council
 City of Des Moines, Iowa

Members:

Communication from the City Plan and Zoning Commission advising that at their February 6, 2020 meeting, the following action was taken regarding a request from Newbury Living (applicant) represented by Frank Levy (officer) to rezone property located at 3801, 3721, 3707 and 3705 Grand Avenue and 3810 Ingersoll Avenue from "R-4" Multiple-Family Residential District and "NPC" Neighborhood Pedestrian Commercial District to "PUD" Planned Unit Development District. Approval of a PUD Conceptual Plan "3801 Grand Avenue", to allow development of a 4-story 57-unit independent senior living apartment building, in addition to an existing 4-story 35-unit independent senior living apartment building, an existing 3-story 56 unit assisted living apartment building, and an existing 2-story 5,720-square foot office building. The subject property is owned by 3801 Grand Associates, LP; Arbor Cooperative Housing Association; and Eureka Group, LLC.

COMMISSION RECOMMENDATION:

After public hearing, the members voted 11-0 as follows:

Commission Action:	Yes	Nays	Pass	Absent
Francis Boggus				X
Dory Briles	X			
Abby Chungath	X			
Jacqueline Easley	X			
Jann Freed	X			
John "Jack" Hilmes	X			
Lisa Howard	X			
Carolyn Jenison				X
Greg Jones	X			
William Page	X			
Rocky Sposato	X			
Steve Wallace	X			
Greg Wattier				X
Emily Webb	X			

APPROVAL of Part A) the Commission find the proposed rezoning in conformance with the PlanDSM Creating Our Tomorrow future land use map, Part B) **APPROVAL** of rezoning the subject property from “R-4” Multiple-Family Residential District and “NPC” Neighborhood Pedestrian Commercial District to “PUD” Planned Unit Development District and Part C) **APPROVAL** of the proposed PUD Conceptual Plan subject to the following conditions:

1. Provision of a note that states, “landscaping and buffering shall be provided in accordance with the City’s Landscaping Standards in place at the time the Development Plan is submitted, or exceeded as illustrated on the Conceptual Plan or as determined necessary by the City’s Planning Administrator.”
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13. Provision of a note that states “tree removal and mitigation calculations must be submitted with any PUD Development Plan in accordance with Section 42-550 of the Municipal Code.”

(ZON2019-00237)

Written Responses

25 in Favor

4 in Opposition

STAFF RECOMMENDATION TO THE P&Z COMMISSION

Part A) Staff recommends that the Commission find that the proposed rezoning in conformance with the PlanDSM Creating Our Tomorrow future land use map.

Part B) Staff recommends approval of rezoning the subject property from “R-4” Multiple-Family Residential District and “NPC” Neighborhood Pedestrian Commercial District to “PUD” Planned Unit Development District.

Part C) Staff recommends approval of the proposed PUD Conceptual Plan subject to the following conditions:

1. Provision of a note that states, “landscaping and buffering shall be provided in accordance with the City’s Landscaping Standards in place at the time the Development Plan is submitted, or exceeded as illustrated on the Conceptual Plan or as determined necessary by the City’s Planning Administrator.”
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STAFF REPORT TO THE PLANNING COMMISSION

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to construct a 4-story multiple-family building that would connect to the existing senior housing development to the west. The boundary of the proposed PUD District includes a commercial property with frontage on Ingersoll Avenue that would not be impacted by the proposed project.
2. **Size of Site:** 4.31 acres.
3. **Existing Zoning (site):** The subject property was zoned "R-4" Multiple-Family Residential District, "NPC" Neighborhood Pedestrian Commercial District, "GGP" Gambling Games Prohibition Overlay District, and "FSO" Freestanding Sign Overlay at the time the application was submitted. The property is currently zoned "NX3" Neighborhood Mix District and "MX2" Mixed Use District.
4. **Existing Land Use (site):** An independent senior living apartment building, an assisted living apartment building, and an office building.

5. Adjacent Land Use and Zoning:

North – “MX2” (“NPC” at time of submittal): Uses are commercial businesses along Ingersoll Avenue.

South - “NX3” & P2” (“R-3” at time of submittal): Uses are multiple-family residential and institutional.

East - “NX3” (“R-3” & “R-4” at time of submittal): Uses are multiple-family residential.

West - “P2” (“R-3” at time of submittal): Use is a church.

6. **General Neighborhood/Area Land Uses:** The site is located on the north side of Grand Avenue to the east of the 39th Street intersection. The Grand Avenue corridor contains a mix of multiple-family residential, institutional, and commercial uses.
7. **Applicable Recognized Neighborhood(s):** The subject property is located in the North of Grand Neighborhood and within 250 feet of both the Greenwood Historic Neighborhood and the Salisbury Oaks Neighborhood. All neighborhoods were notified of the January 16, 2020 Commission meeting by mailing of the Preliminary Agenda on December 27, 2020 and the Final Agenda on January 10, 2020. All neighborhoods were notified of the February 6, 2020 Commission meeting by mailing of the Preliminary Agenda on January 17, 2020 and the Final Agenda on January 31, 2020. Additionally, separate notifications of the hearing for this specific item were mailed on December 27, 2019 (20 days prior to the January 16, 2020 hearing) and January 6, 2020 (10 days prior to the January 16, 2020 hearing) to the neighborhood associations and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the requested rezoning.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The North of Grand Neighborhood Association mailings were sent to Jason Norris, 647 34th Street, Des Moines, IA 50312. The Greenwood Historic Neighborhood Association mailings were sent to Nicholas Larson, 127 34th Street, Des Moines, IA 50312. The Salisbury Oaks Neighborhood Association mailings were sent to R.J. Rademacher, 517 SW 42nd Street, Des Moines, IA 50312.

8. **Relevant Zoning History:** None.

9. **PlanDSM Creating Our Tomorrow Future Land Use Plan Designation:** High Density Residential and Community Mixed Use located in a Community Node.

10. **Applicable Regulations:** The Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code, and taking into consideration the criteria set forth in Chapter 18B of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

The application, accompanying evidence and conceptual plan required shall be considered by the Plan and Zoning commission at a public hearing. The Commission shall review the conformity of the proposed development with the standards of this division and with recognized principles of civic design, land use planning, and landscape architecture. At the conclusion of the hearing, the Commission may vote to recommend either approval or disapproval of the conceptual plan and request for rezoning as submitted, or to recommend that the developer amend the plan or request to preserve the intent and purpose of this chapter to promote public health, safety, morals and general welfare. The recommendations of the commission shall be referred to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **PlanDSM Creating Our Tomorrow:** The proposed PUD District contains four (4) parcels that have frontage on Grand Avenue and one (1) parcel that has frontage on Ingersoll Avenue. The Grand Avenue parcels are designated as “High Density Residential” on the Future Land Use Map. The Ingersoll Avenue parcel is designated as “Community Mixed Use” on the Future Land Use Map. All of the parcels are located within a “Community Node” on the Future Land Use Map. Plan DSM describes these designations as follows:

High Density Residential: Areas developed with primarily higher intensity multi-family housing with a minimum density over 17 dwelling units per net acre.

Community Mixed Use: Small- to medium-scale mixed use development, located on high capacity transit corridors or at the intersection of transportation corridors. Community mixed use areas include both a mix of medium density residential and a mix of retail and service establishments designed to attract customers from a large service area encompassing multiple neighborhoods and may include specialty retail that attracts regional customers.

Community Node: Mid-sized centers providing a range of daily needs and specialized services within a larger neighborhood context. Consist of a mix of housing, retail, and office serving a larger population and geographical area than a neighborhood node. May include a shopping district including a grocery and drug store. Residential development including medium and high densities may occur if the underlining designation is Neighborhood Mixed Use.

2. **PUD Standards:** The following are standards from Section 134-704 of the retired Zoning Code that was in place at the time the application was submitted and provides the foundation that all PUD Conceptual Plans should be based on.
 - A) All uses proposed in a PUD planned unit development district plan shall be in harmony with the existing or anticipated uses of other properties in the surrounding neighborhood and shall generally be in conformance with the city's land use plan. The design of a PUD development shall be based on harmonious architectural character; compatible materials; orderly arrangement of structures and open space;

and conservation of woodlands, streams, scenic areas, open space and other natural resources.

The applicant is proposing to construct a 4-story multiple-family building with 57 dwelling units. The units would complement the existing senior housing development to the west. The boundary of the proposed PUD District includes a commercial property with frontage on Ingersoll Avenue that would not be impacted by the proposed project. The existing residential development includes a 4-story, 35-unit independent senior living apartment building and a 3-story, 56-unit assisted living apartment building.

The new building would be contemporary in style with a mix of masonry, metal panel, prefinished wood and fiber cement board panel siding. Units on all sides of the building would have balconies. The stack of balconies near the front entrance would have glass railing. The remaining balconies would consist of galvanized steel construction.

The subject property is located on the Grand Avenue corridor, which contains a mix of residential building types and densities along with varying levels of commercial uses. Additionally, the area contains an eclectic mix of architectural styles. The property is designated "High Density Residential" and "Community Mixed Use" within a "Community Node" on the PlanDSM Future Land Use Map. The proposed development complies with PlanDSM and is in harmony with the character of the area.

- B) Setbacks and other appropriate screens shall be provided around the boundary of a PUD development to protect the adjoining district properties. Only in exceptional circumstances shall such a setback be less than the amount of the setback which the adjoining district is required to maintain from the PUD development.

The new building would have a 41-foot front yard setback from Grand Avenue, a 52-foot setback from the east side property line and a 31-foot setback from the rear property line. The proposed front setback matches the setback of the condominium building to the east. The applicant has indicated that matching the setback of this building was important to its residents, whom he met with.

For comparison, the retired "R-4" District typically required a 30-foot minimum front yard setback and a 30-foot minimum rear yard setback. For buildings three (3) stories or taller, the combined side yard setback must be a minimum of 25 feet with no side less than 10 feet.

Staff believes that the proposed setbacks are appropriate as they are comparable to other similarly situated developments along the Grand Avenue corridor.

- C) A PUD development shall comply with all applicable city ordinances, specifications and standards relating to all dedicated street, sanitary sewer and storm sewer facilities and to surface drainage and floodwater retention.

All necessary utilities are available within the adjoining rights-of-way. All grading is subject to an approved grading permit and soil erosion control plan, as well as a Stormwater Pollution Protection Plan (SWPPP) approved by the Iowa DNR.

The applicant is required to demonstrate compliance with the City's stormwater management regulations to the satisfaction of the City's Permit and Development Center during the review of any PUD Development Plan. Tree removal and mitigation calculations must be submitted with any PUD Development Plan in accordance with Section 42-550 of the Municipal Code.

- D) The streets surrounding a PUD development must be capable of accommodating the increased traffic that would be generated by the new development. The development shall be designed to provide maximum feasible separation of vehicular traffic from pedestrian ways and recreational areas. If turning lanes or other forms of traffic controls within or adjacent to the development are deemed necessary by the city council, the developer shall provide the necessary improvements.

The subject site is located on the Grand Avenue corridor. The proposed density and anticipated traffic generation is expected along this corridor. A traffic study is not required for the proposed project as the anticipated vehicle trips generated by the project does not trigger review.

The submitted Conceptual Plan includes three (3) drive approaches along Grand Avenue. The City's Traffic and Transportation Division has requested that this be reduced to two (2). The applicant is in the process of contacting vendors to see if all deliveries can take place at the rear of the existing building via a driveway that would be constructed along the east and north edges of the new building. Staff recommends approval subject to the finalized number and placement of drive approaches being approved with any PUD Development Plan.

- E) Off-street parking and loading spaces shall be provided as appropriate to the size and character of the development. Each off-street loading space shall be not less than ten feet in width and 25 feet in length. All off-street parking spaces shall be provided in accordance with the requirements of subsection 134-1377(g).

The proposed building would have 57 dwelling units with 65 parking spaces within the basement of the building. An additional 3 parking spaces would be constructed in front (south) of the building. Most of the surrounding area along Grand Avenue is zoned "NX3" District. The parking standards for this district require 1 off-street parking space per dwelling unit for multiple-household residential uses and 0.5-stall per dwelling unit for senior housing. The proposal exceeds this minimum standard. Staff believes that the proposed development would provide an adequate amount of parking.

- F) Where appropriate to the size and character of a PUD development, provision shall be made therein for open space for recreation and other outdoor uses, and for places of worship, convenience shopping and other community services.

The project would include a landscaped courtyard space with a paved patio between the new building and the existing building to the west. Staff believes that this is adequate outdoor space for a development of this type.

- 3. Additional Information:** The Staff recommendation found in Section III of this report contains several common conditions of approval for development pertaining to refuse collection, lighting, utilities, and meters.

SUMMARY OF DISCUSSION

Jacqueline Easley asked if any member of the audience or the Commission desired to speak regarding the item. None were present or requested to speak.

COMMISSION ACTION:

Jann Freed made a motion for approval of Part A) the Commission find the proposed rezoning in conformance with the PlanDSM Creating Our Tomorrow future land use map, Part B) **APPROVAL** of rezoning the subject property from “R-4” Multiple-Family Residential District and “NPC” Neighborhood Pedestrian Commercial District to “PUD” Planned Unit Development District and Part C) **APPROVAL** of the proposed PUD Conceptual Plan subject to the following conditions:

1. Provision of a note that states, “landscaping and buffering shall be provided in accordance with the City’s Landscaping Standards in place at the time the Development Plan is submitted, or exceeded as illustrated on the Conceptual Plan or as determined necessary by the City’s Planning Administrator.”
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Motion passed: 11-0

Respectfully submitted,

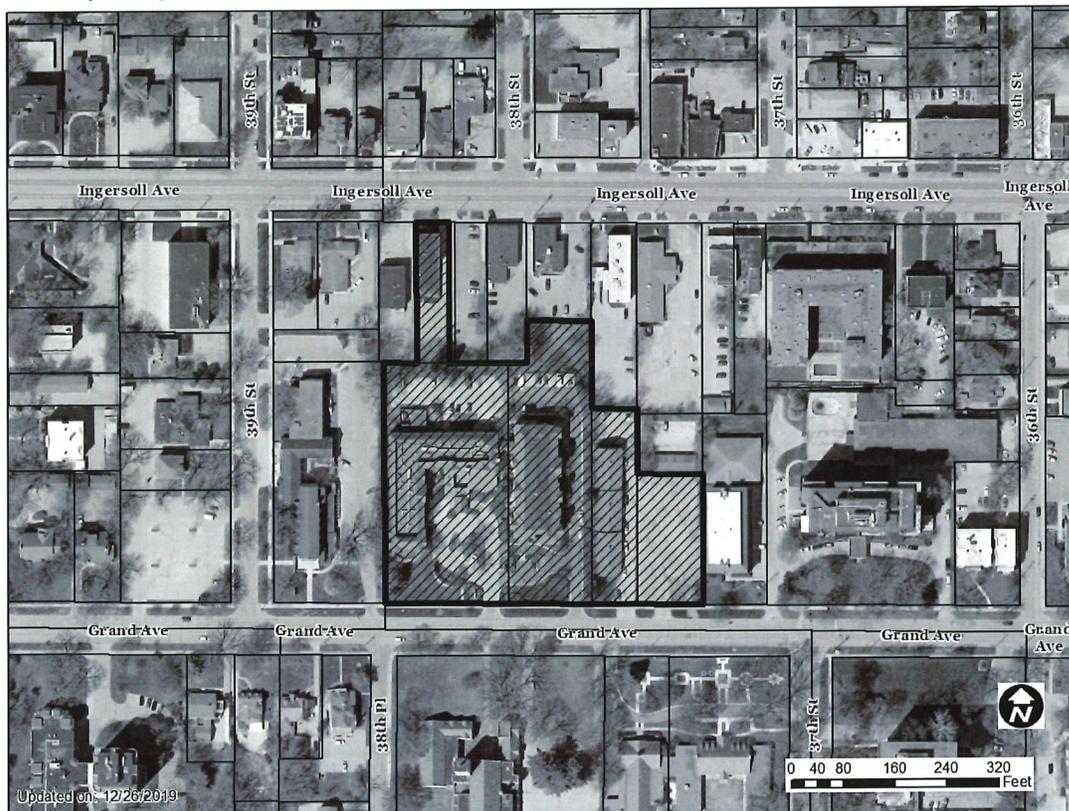


Jason Van Essen, AICP
Senior City Planner

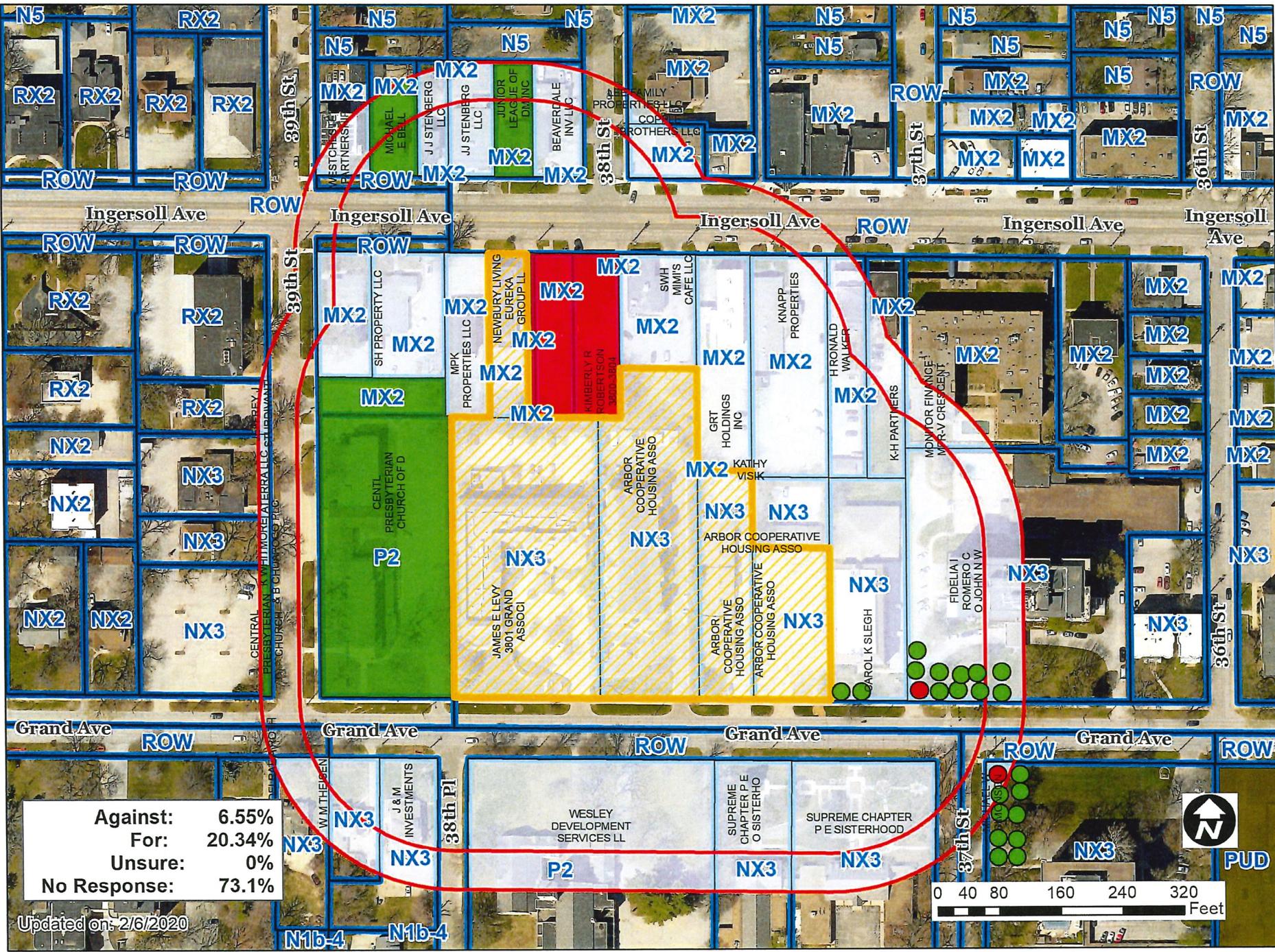
JVE:tjh

Newbury Living (applicant) represented by Frank Levy (officer) for the following property located at 3801, 3721, 3707 and 3705 Grand Avenue and 3810 Ingersoll Avenue. The subject property is owned by 3801 Grand Associates, LP; Arbor Cooperative Housing Association; and Eureka Group, LLC.				File # ZON2019-00237	
Description of Action	Rezone property from "R-4" Multiple-Family Residential District and "NPC" Neighborhood Pedestrian Commercial District to "PUD" Planned Unit Development District. Approval of a PUD Conceptual Plan "3801 Grand Avenue", to allow development of a 4-story 55-unit independent senior living apartment building, in addition to an existing 4-story 35-unit independent senior living apartment building, an existing 3-story 55 unit assisted living apartment building, and an existing 2-story 5,720-square foot office building.				
PlanDSM Future Land Use	Current: High Density Residential and Community Mixed Use. Proposed: N/A.				
Mobilizing Tomorrow Transportation Plan	No planned improvements.				
Current Zoning District	"R-4" Multiple-Family Residential District, "NPC" Neighborhood Pedestrian Commercial District and "FSO" Freestanding Signs Overlay District.				
Proposed Zoning District	"PUD" Planned Unit Development.				
Consent Card Responses	In Favor	Not In Favor	Undetermined	% Opposition	
Outside Area (200 feet)	25	4			
Within Subject Property					
Plan and Zoning Commission Action	Approval	X	Required 6/7 Vote of the City Council	Yes	
	Denial			No	X

Newbury Living, 3801, 3721, 3707, 3705 Grand Avenue & 3810 Ingersoll Avenue **ZON2019-00237**



1 inch = 165 feet



Updated on: 2/6/2020

1 inch = 165 feet

Item: ZON2019-00237 Date: 1/8/20

15

I (am) ~~(am not)~~ in favor of the request:

RECEIVED
COMMUNITY DEVELOPMENT
JAN 13 2020

Print Name: Robert A. Gamble

Signature: [Handwritten Signature]

Address: 3805 Brentwood Dr. DM 50312

Owner 3663 Grand Unit #802 DM 50312

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237 Date: 1-9-20

I (am) (am not) in favor of the request:

(Circle One)
RECEIVED
COMMUNITY DEVELOPMENT
JAN 14 2020

Print Name: PATRICIA THYBERG

Signature: Patricia Thyberg

Address: 3660 Grand Ave #710

Reason for opposing or approving this request may be listed below:

I would like to see more diversity in
the area. With Wesley + 3801, think there
are enough Senior care facilities in the
area

Item: ZON2019-00237 Date: 1/9/2020

15

I (am) (am not) in favor of the request:

RECEIVED
COMMUNITY DEVELOPMENT
JAN 13 2020

Print Name: Kim R. Robertson

Signature: Kim R Robertson

Address: 3804 Ingersoll

Reason for opposing or approving this request may be listed below:

Oppose, especially on Ingersoll
Need consistent zoning on Ingersoll.
Very little info provided

Item: ZON2019-00237 Date: 1/14/20

I (am) (am not) in favor of the request:

RECEIVED
COMMUNITY DEVELOPMENT
JAN 23 2020

Print Name: ROTH

Signature: [Signature]

Address: 3904 Grand Ave

Reason for opposing or approving this request may be listed below:

Concerned about overbuilding on Grand Ave
CONCERNED ABOUT TRAFFIC + CONGESTION
ON GRAND AVE.

Item: ZON2019-00237 Date: 1/13/20

15

I (am) (am not) in favor of the request:

(Circle One) Print Name: MIKE SIMONSON

RECEIVED
COMMUNITY DEVELOPMENT
JAN 15 2020

Signature: *[Handwritten Signature]*

Address: 7140 Grand Ave #210

Reason for opposing or approving this request may be listed below:

*Very good neighbor.
Beautifully maintained*

Item: ZON2019-00237 Date: 1/10/2020

I (am) (am not) in favor of the request:

(Circle One) Print Name: Kevin Chorniak

RECEIVED
COMMUNITY DEVELOPMENT
JAN 14 2020

Signature: *[Handwritten Signature]*

Address: 3660 Grand Ave Unit #630
Des Moines, IA 50312

Reason for opposing or approving this request may be listed below:

*I do not have any concerns with the
proposed change.*

Item: ZON2019-00237 Date: 1-10-2020 15

I (am) (am not) in favor of the request:

(Circle One) Print Name: CAROLYN MARIE DARRAH

Signature: C. Marie Darrah

RECEIVED
COMMUNITY DEVELOPMENT
JAN 14 2020

Address: 3663 GRAND AVE. #406

Reason for opposing or approving this request may be listed below:

There is too many apartments
in this area now.

Item: ZON2019-00237 Date: 01/09/2020

I (am) (am not) in favor of the request:

(Circle One) Print Name: Eleanor M. Shivers

Signature: Eleanor M. Shivers

RECEIVED
COMMUNITY DEVELOPMENT
JAN 13 2020

Address: 3663 Grand Ave. #703

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237 Date: 1-9-20

15

I (am) (am not) in favor of the request:

(Circle One) Print Name: PETER TAGGART

RECEIVED
COMMUNITY DEVELOPMENT
Signature: *Peter Taggart*

JAN 14 2020 Address: 3663 Grand # 408

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237 Date: 1-13-20

I (am) (am not) in favor of the request:

(Circle One) Print Name: Ryndert De Groot

RECEIVED
COMMUNITY DEVELOPMENT
Signature: *Ryndert De Groot*

JAN 16 2020 Address: 3660 Grand Ave, Unit 240
Des Moines, IA 50312

Reason for opposing or approving this request may be listed below:

There's a need for this type of housing, and it
benefits the neighborhood.

Item: ZON2019-00237 Date: 1-22-20

15

I (am) (am not) in favor of the request:

(Circle One) Print Name: ROBERT C. OBERBILLIG

RECEIVED
COMMUNITY DEVELOPMENT
Signature: [Handwritten Signature]

JAN 27 2020 Address: 3163 Grand # 506

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237 Date: 1/17/2020

I (am) (am not) in favor of the request:

(Circle One) Print Name: Erin Young

RECEIVED
COMMUNITY DEVELOPMENT
Signature: [Handwritten Signature]

JAN 27 2020 Address: UNIT 1030 3660 Grand Ave

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237 Date: 1-9-2020

15

I (am) (am not) in favor of the request:

(Circle One)

Print Name: Gloria Gray

RECEIVED
COMMUNITY DEVELOPMENT

Signature: Gloria Gray

JAN 14 2020

Address: 3667 Grand Ave #12 50312

Reason for opposing or approving this request may be listed below:

Good addition to 3801 and hopefully
an improvement for the neighborhood.

Item: ZON2019-00237 Date: Jan 5 2020

I (am) (am not) in favor of the request.

RECEIVED
COMMUNITY DEVELOPMENT
(Circle One)

JAN 13 2020

Print Name: Joseph R. LAKERS

Signature: Joseph R. Lakers

Address: 3667 Grand Ave #14

Reason for opposing or approving this request may be listed below:

I would like a greater building separation
I expect the City of Des Moines
will make sure that there will be
no water run off on our property.
This will be a good use of the land.

Item: ZON2019-00237 Date: 1/9/2020

15

I (am) (am not) in favor of the request:

(Circle One) Print Name: Marcia Jacobs

RECEIVED
COMMUNITY DEVELOPMENT
JAN 15 2020

Signature: Marcia Jacobs

Address: 3663 Grand #202, DSM, Ia

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237 Date: 1-10-20

I (am) (am not) in favor of the request:

(Circle One) Print Name: Linda Duffy

RECEIVED
COMMUNITY DEVELOPMENT
JAN 15 2020

Signature: Linda Duffy

Address: 3663 Grand #706

Reason for opposing or approving this request may be listed below:

This should be a nice
addition to the neighborhood
& bring young srs.

Item: ZON2019-00237 Date: 1/9/2020

15

I (am) (am not) in favor of the request:
(Circle One)

Print Name: MARY ANN McCoy

RECEIVED
COMMUNITY DEVELOPMENT
JAN 14 2020

Signature: Mary Ann McCoy

Address: 3663 Grand Ave #908

Reason for opposing or approving this request may be listed below:

I am sure this will be a
very nice complex - a great
location!

Item: ZON2019-00237 Date: 01/10/2020

I (am) (am not) in favor of the request:
(Circle One)

Print Name: Patricia Davis

RECEIVED
COMMUNITY DEVELOPMENT
JAN 14 2020

Signature: Patricia Davis

Address: 3663 Grand Ave #463

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237

Date: 01/10/20

I (am) (am not) in favor of the request:

CENTRAL PRESBYTERIAN CHURCH

(Circle One)

Print Name: Wallace W Bubar

RECEIVED
COMMUNITY DEVELOPMENT

Signature: [Handwritten Signature]

JAN 17 2020

Address: ???

Reason for opposing or approving this request may be listed below:

Four horizontal lines for providing reasons.

Item: ZON2019-00237

Date: 1/12/2020

I (am) (am not) in favor of the request:

(Circle One)

Print Name: Beverly Hotney

RECEIVED
COMMUNITY DEVELOPMENT

Signature: [Handwritten Signature]

JAN 17 2020

Address: 3660 Grand Ave., Unit 920

Reason for opposing or approving this request may be listed below:

We need more housing for seniors and this is an even-keeled, reliable population. Frank Levy is a reputable developer.

One horizontal line for providing reasons.

Item: ZON2019-00237 Date: 1-9-20

15

I (am) (am not) in favor of the request:

(Circle One)

Print Name: ^{Ruth} Ilene Borchert

RECEIVED
COMMUNITY DEVELOPMENT

Signature: Ilene Borchert

JAN 22 2020

Address: 3663 Grand Ave # 401

Reason for opposing or approving this request may be listed below:

Item ZON2019-00237 Date 1/17/2020

I (am) (am not) in favor of the request.

(Circle One)

Print Name JEFFREY STALL, M.D.

RECEIVED
COMMUNITY DEVELOPMENT

Signature [Signature]

JAN 23 2020

Address 3663 GRAND AVE # 401, DSM

Reason for opposing or approving this request may be listed below:

Improvement over what's there.

Item ZON2019-00237

Date 1-10-2020

15

I (am) (am not) in favor of the request.

(Circle One)

Print Name Hubbell Realty Co

Signature [Signature]

Address 6900 Western Hwy WDH-7A

RECEIVED
COMMUNITY DEVELOPMENT

JAN 14 2020

Reason for opposing or approving this request may be listed below:

Item ZON2019-00237

Date: JAN, 10, 2020

I (am) (am not) in favor of the request:

(Circle One)

Print Name: MICHAEL E. BELL

RECEIVED
COMMUNITY DEVELOPMENT

Signature: Michael E. Bell

JAN 15 2020

Address: 3819 INGERSOLL AVE

Reason for opposing or approving this request may be listed below:

FRANK LEVY BUILDS GOOD QUALITY BUILDINGS,
AND IMPROVES THE NEIGHBORHOOD.

THANK-YOU, FRANK.

Item ZON2019-00237 Date 1/9/20

15

I (am) (am not) in favor of the request.

(Circle One)

RECEIVED
COMMUNITY DEVELOPMENT

JAN 14 2020

Print Name: Junior League of DSM

Signature: [Signature]

Address: 3811 Ingersoll Ave.

Reason for opposing or approving this request may be listed below:

Item ZON2019-00237 Date: 01-09-2020

I (am) (am not) in favor of the request:

(Circle One)

RECEIVED
COMMUNITY DEVELOPMENT

JAN 13 2020

Print Name: _____

Signature: Bonnie Kendall

Address: 3660 Grand Av - Unit 330, D.M. 50312

Reason for opposing or approving this request may be listed below:

Item: ZON2019-00237

Date: 1/10/19

15

I (am) (am not) in favor of the request:

(Circle One)

RECEIVED
COMMUNITY DEVELOPMENT

JAN 13 2020

Print Name: Bryan Michael

Signature: *[Handwritten Signature]*

Address: 3660 Grand, 1020

Reason for opposing or approving this request may be listed below:

Need new product in area.

Item: ZON2019-00237

Date: 1-10-20

I (am) (am not) in favor of the request:

(Circle One)

RECEIVED
COMMUNITY DEVELOPMENT

JAN 14 2020

Print Name: GERALDINE MULLANE

Signature: *[Handwritten Signature]*

Address: 3660 GRAND AVE # 410

Reason for opposing or approving this request may be listed below:

The concept is in major need.
Good Idea!

Item: ZON2019-00237 Date: 1-9-2020

I (am) (am not) in favor of the request:

(Circle One)

Print Name: Kevin & Patty LaGree

RECEIVED
COMMUNITY DEVELOPMENT

Signature: Patricia M. LaGree

JAN 14 2020

Address: 3460 Grand Ave, #610

Reason for opposing or approving this request may be listed below:

OWNER/DEVELOPER:
 JAMES E LEVY
 3801 GRAND ASSOCIATES LP
 3408 WOODLAND AVE STE 303
 WEST DES MOINES, IA 50266

ADDRESS
 3801 GRAND AVENUE

ZONING
 EXISTING = R-3; R-4; NPC (N3)
 PROPOSED = PUD

2020 COMMUNITY CHARACTER PLAN
 EXISTING = HIGH DENSITY RESIDENTIAL-COMMERCIAL
 PROPOSED = HIGH DENSITY RESIDENTIAL-COMMERCIAL

CONCEPTUAL PLAN 3801 GRAND AVENUE A PLANNED UNIT DEVELOPMENT IN THE CITY OF DES MOINES, COUNTY OF POLK, STATE OF IOWA SHEET I OF II

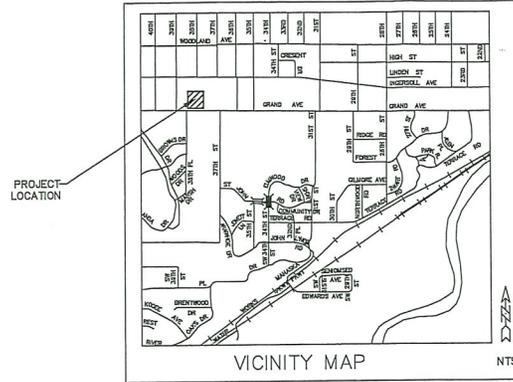
- SHEET LIST**
- 1 - COVER
 - 2 - LAYOUT
 - 3 - EXISTING CONDITIONS
 - 4 - LANDSCAPING PLAN
 - 5 - BLDG-ELEV-1
 - 6 - BLDG-ELEV-2
 - 7 - BLDG-ELEV-3
 - 8 - BLDG-ELEV-4
 - 9 - BLDG-ELEV-5
 - 10 - BLDG-ELEV-6
 - 11 - BLDG-ELEV-7

LEGAL DESCRIPTION:
 The East 50 feet of Lot 13; all of Lots 14, 15, 16; the South 68.75 feet of Lot 17; the South 434.00 feet of Lot 18; the South 300 feet of Lot 19; all of Lot 20; and the South 292 feet of Lot 22 all in the Official Plat of the Southeast Quarter of the Southwest Quarter of Section 6, Township 78 North, Range 24 West of the 5th P.M., now included in and forming a part of the City of Des Moines, Polk County, Iowa.
 Containing 4.28 AC

REGULATIONS

TRACT 1

- A) ALLOWED USES SHALL BE RESIDENTIAL TYPE USES FOR PEOPLE WITH MEMORY CARE NEEDS; ASSISTED LIVING; INDEPENDENT LIVING
- B) BUILDING SETBACKS: PAVEMENT SETBACKS:
 FRONT = 44' 10' EAST
 SIDE = 10' 4' NORTH
 REAR = 30' 12' SOUTH
 10' WEST
- C) HEIGHT: MAXIMUM 55' FROM FIRST FLOOR TO ROOF PEAK
- D) PARKING:
 REQUIRED:
 MEMORY CARE: 0/UNIT
 PLUS 0.5/STAFF ON-SITE
 ASSISTED LIVING: 0.5/UNIT
 INDEPENDENT LIVING: 1/UNIT
- E) LANDSCAPE REQUIREMENTS
 MINIMUM OPEN SPACE: 20% (INCLUSIVE OF HARD SURFACED COMMON AREAS, IE PATIOS, SIDEWALKS)
 STREET TREES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING ORDINANCE, FOR SIZE, QUANTITY AND SPACING.
 NO MORE THAN 15 ADJACENT PARKING STALLS SHALL BE PLACED WITHOUT A LANDSCAPED ISLAND OF 100 SF MINIMUM.
 A PARKING LOT BUFFER SHALL BE PROVIDED TO SCREEN PARKING STALLS ADJACENT TO GRAND AVENUE. THIS SHALL CONSIST OF A 3' HIGH SCREEN CONSISTING OF A FENCE, BERM, WALL, DENSE PLANTINGS OR A COMBINATION OF THESE ITEMS. SHADE TREES SHALL BE PROVIDED AT 40' SPACING ALONG THE BUFFER.
 A MINIMUM TREE CANOPY AREA OF 15% SHALL BE PROVIDED ON THE PROPERTY BASED ON THE FOLLOWING CANOPY AREAS:
 SHADE TREE: 1,000 SF
 ORNAMENTAL OR UNDERSTORY: 700 SF
 EVERGREEN: 300 SF
 STREET TREES IN ADJACENT STREET ROW SHALL APPLY TO THE TOTAL.
 EXISTING TREES SHALL APPLY TO THE TOTAL.
- OTHER SITE AMENITIES SHALL BE ALLOWED WHICH MAY INCLUDE BUT NOT LIMITED TO FLAG POLES, BENCHES, TRASH RECEPTACLES, AREAS FOR RECREATION, ETC.
- F) ARCHITECTURAL STANDARDS:
 ALLOWED EXTERIOR MATERIALS:
 AS SHOWN ON THE ATTACHED BUILDING ELEVATIONS.
- G) STORMWATER MANAGEMENT:
 METHODS MAY INCLUDE BELOW GRADE STORAGE OF STORM WATER AND CONSERVATION METHODS. EXISTING DETENTION IN DRY BASIN SHALL REMAIN.
- H) SIGNS:
 A NEW MONUMENT SIGN SHALL BE PLACED AT THE APPROXIMATE LOCATION SHOWN ON THE PLAN. APPROXIMATE SIZE 14'X6' CONSTRUCTED OF MATERIALS TO COMPLEMENT THE BUILDINGS. WAY FINDING SIGNAGE SHALL ALSO BE INSTALLED ON THE SITE TO DIRECT VEHICLES AND PEDESTRIANS TO SPECIFIC LOCATIONS.
- I) SITE LIGHTING:
 ALL NEW SITE LIGHTING SHALL BE SHALL BE LOW GLARE CUT-OFF TYPE FIXTURES. MAXIMUM POLE HEIGHT 20'.
- ANY DEVELOPMENT PLANS SHALL COMPLY WITH THE CITY'S TREE PROTECTION AND MITIGATION ORDINANCE.
 ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT STREET FRONTAGE BY ARCHITECTURALLY INTEGRATED SCREENING ELEMENTS IF REQUIRED.
 ALL MECHANICAL EQUIPMENT, METERS, CONDENSERS, ETC. SHALL BE APPROPRIATELY SCREENED SO THAT IT IS NOT VISIBLE FROM ANY PUBLIC STREET.
 ANY TRANSFORMERS SCREENED FROM VIEW OF PUBLIC STREETS WITH ARCHITECTURAL SCREENING OR LANDSCAPE PLANTINGS.



REGULATIONS

TRACT 2

- A) THE USES ALLOWED ON THIS TRACT SHALL COMPLY WITH THAT OF MX2 DISTRICT.
- B) SETBACKS:
 FRONT = 0'
 SIDE = 0'
 REAR = 10'
- PAVEMENT SETBACKS:
 10' NORTH
 0' EAST
 0' WEST
 10' SOUTH
- C) HEIGHT: MAXIMUM 52'
- D) PARKING:
 REQUIRED:
 60% OF THE MINIMUM REQUIRED PER THE ZONING ORDINANCE
- E) LANDSCAPE REQUIREMENTS
 MINIMUM OPEN SPACE: 5%
 STREET TREES SHALL COMPLY WITH THE REQUIREMENTS OF THE ZONING ORDINANCE, FOR SIZE, QUANTITY AND SPACING.
 NO MORE THAN 15 ADJACENT PARKING STALLS SHALL BE PLACED WITHOUT A LANDSCAPED ISLAND OF 100 SF MINIMUM.
 A PARKING LOT BUFFER SHALL BE PROVIDED TO SCREEN PARKING STALLS ADJACENT TO INGERSOLL AVENUE SHOULD PARKING BE CONSTRUCTED IN THE FUTURE. THIS SHALL CONSIST OF A 3' HIGH SCREEN CONSISTING OF A FENCE, BERM, WALL, DENSE PLANTINGS OR A COMBINATION OF THESE ITEMS. SHADE TREES SHALL BE PROVIDED AT 40' SPACING ALONG THE BUFFER.
 A MINIMUM TREE CANOPY AREA OF 15% SHALL BE PROVIDED ON THE PROPERTY BASED ON THE FOLLOWING CANOPY AREAS:
 SHADE TREE: 1,000 SF
 ORNAMENTAL OR UNDERSTORY: 700 SF
 EVERGREEN: 300 SF
 STREET TREES IN ADJACENT STREET ROW SHALL APPLY TO THE TOTAL.
 EXISTING TREES SHALL APPLY TO THE TOTAL.
- OTHER SITE AMENITIES SHALL BE ALLOWED WHICH MAY INCLUDE BUT NOT LIMITED TO FLAG POLES, BENCHES, TRASH RECEPTACLES, ETC.
- F) ARCHITECTURAL STANDARDS:
 ALLOWED EXTERIOR MATERIALS:
 AS SHOWN ON THE ATTACHED BUILDING ELEVATIONS OF THE EXISTING BUILDING.
- G) STORMWATER MANAGEMENT:
 CURRENTLY NONE PROVIDED.
 SHOULD REDEVELOPMENT OCCUR THAT REQUIRES STORMWATER MANAGEMENT METHODS MAY INCLUDE BELOW GRADE STORAGE OF STORM WATER AND CONSERVATION METHODS. STORMWATER MANAGEMENT CAN ONLY BE PROVIDED IF PUBLIC STORM SEWER IS AVAILABLE IN THE ADJACENT STREET ROW OF INGERSOLL AVE AND AT ACCEPTABLE DEPTH.
- H) SIGNS:
 THE CURRENT MONUMENT SIGN AS OF THE DATE OF THIS PLAN SHALL BE ALLOWED. ANY NEW SIGNS SHALL MEET THE REQUIREMENTS OF THE ZONING/SIGN ORDINANCE. WAY FINDING SIGNAGE MAY ALSO BE INSTALLED ON THE SITE TO DIRECT VEHICLES AND PEDESTRIANS TO SPECIFIC LOCATIONS.
- I) SITE LIGHTING:
 ALL NEW SITE LIGHTING SHALL BE SHALL BE LOW GLARE CUT-OFF TYPE FIXTURES. MAXIMUM POLE HEIGHT 20'.
- ANY DEVELOPMENT PLANS SHALL COMPLY WITH THE CITY'S TREE PROTECTION AND MITIGATION ORDINANCE.
 ALL NEW ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED FROM VIEW FROM THE ADJACENT STREET FRONTAGE BY ARCHITECTURALLY INTEGRATED SCREENING ELEMENTS IF REQUIRED.
 ALL NEW MECHANICAL EQUIPMENT, METERS, CONDENSERS, ETC. SHALL BE APPROPRIATELY SCREENED SO THAT IT IS NOT VISIBLE FROM ANY PUBLIC STREET.
 ANY NEW TRANSFORMERS SCREENED FROM VIEW OF PUBLIC STREETS WITH ARCHITECTURAL SCREENING OR LANDSCAPE PLANTINGS.

APPROVED BY PLAN AND ZONING COMMISSION
 ON XX/XX/2018: XX-2018-X-XX
 APPROVED BY CITY COUNCIL ON:
 XX/XX/18
 ROLL CALL NO. XX-XXXX; ORDINANCE NO. XXXXX

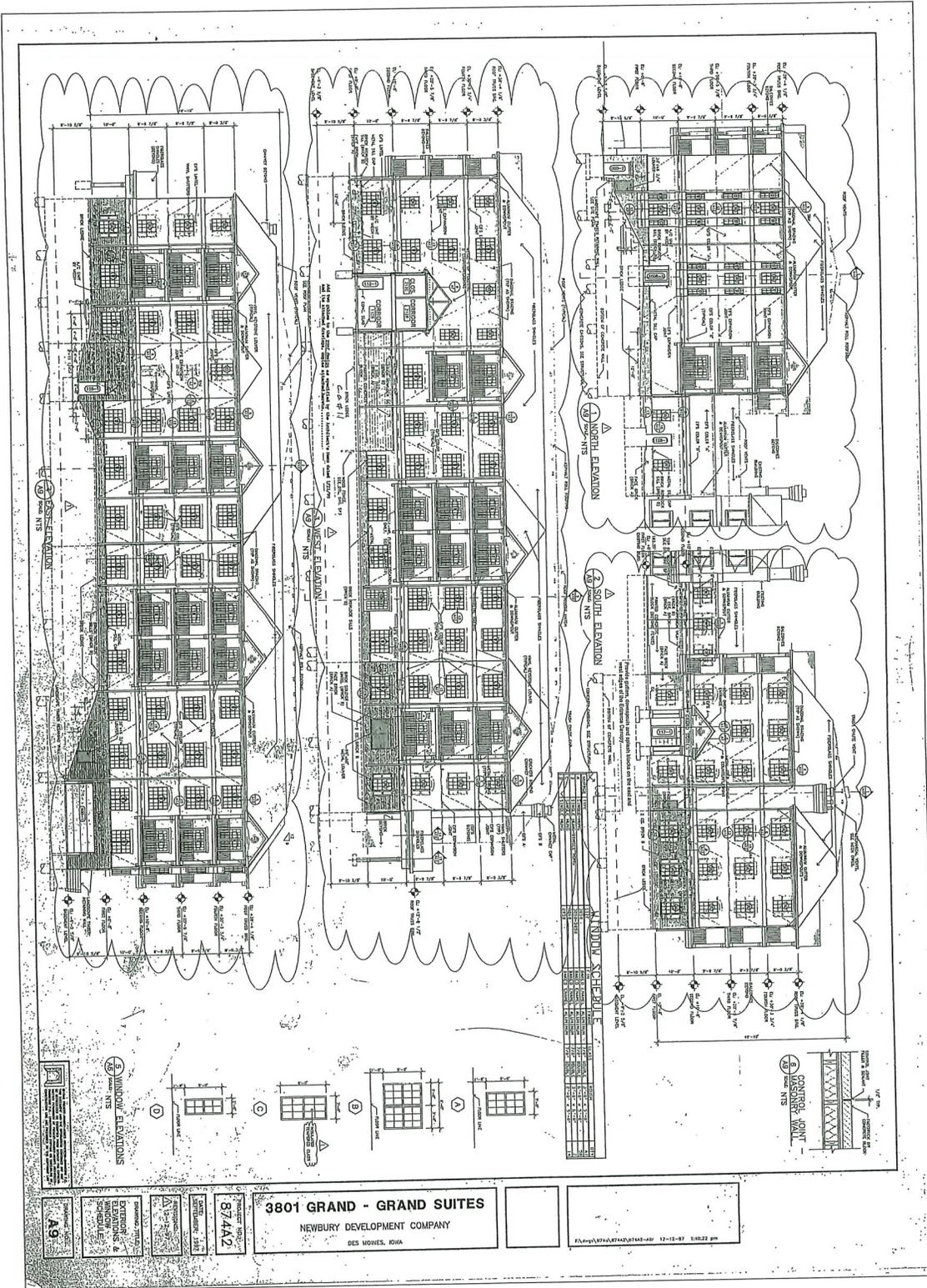
PLANNING DIRECTOR _____ DATE _____

PUD-1

3801 GRAND AVENUE - COVER

SCALE: 1" = 30'	DATE: 01/29/2020	FILE NO: 19-104
DRAWN BY: JMW	CHECKED BY: DJS	SHEET 1 OF 1
DESIGNED BY: DJS	FIELD BOOK: 19-104-PUD-1403	
LOCATION: 3801 GRAND AVENUE		
NO.	REVISION	DATE

ERG
 Engineering Resource Group, Inc.
 2000 East 15th Avenue
 50312
 DES MOINES, IOWA 50312
 (515) 281-4624



TRACT I EXISTING BUILDING

3801 GRAND AVENUE - PUD

ERG
 Engineering Resources Group, Inc.
 Engineers and Surveyors
 2415 GRAND AVENUE
 DES MOINES, IOWA 50312
 (515) 288-4823

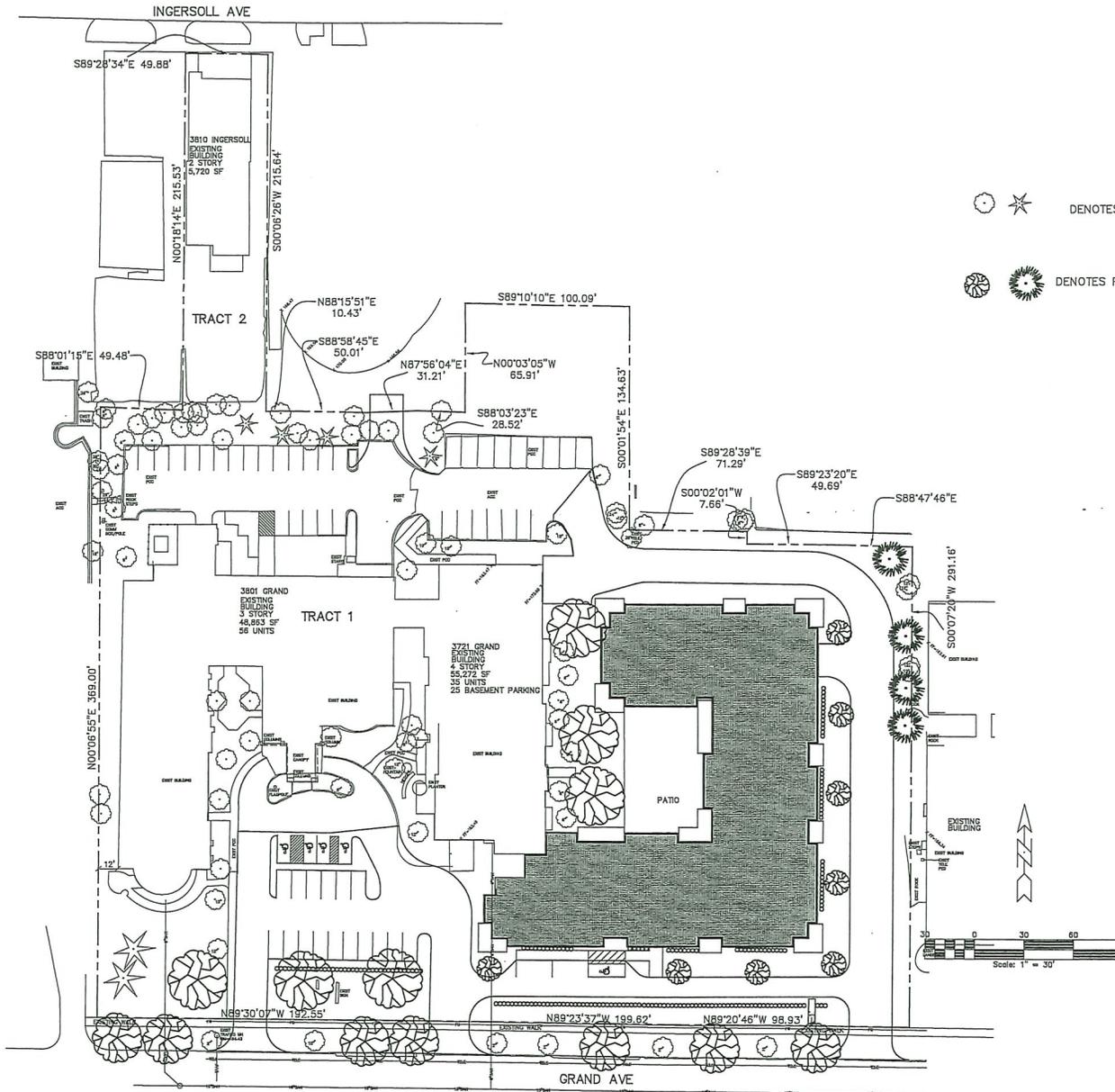
NO.	REVISION	DATE	BY	FOR:

LOCATION:

SCALE: 1" = 30'
 DWG: 18-041-PUD-000-021-1.dwg
 FIELD BOOK:

DESIGNED BY: DJS
 CHECKED BY:
 SHEET 5 OF 11
 DRAWN BY: PJV
 DATE: 01/29/2020
 FILE NO.: 19-104

NOTE.
 THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



DENOTES EXISTING TREE
 DENOTES PROPOSED TREE

LANDSCAPING PLAN

3801 GRAND AVENUE - PUD

PUD-4

FRG
 Engineering Resource Group, Inc.
 Engineers and Surveyors
 205 MONROE, IOWA 50312
 (515) 286-4828

NO.	REVISION	DATE	BY	FOR:

LOCATION:
 SCALE: AS NOTED
 DWG: 19-104-PUD-4.dwg
 FIELD BOOK:

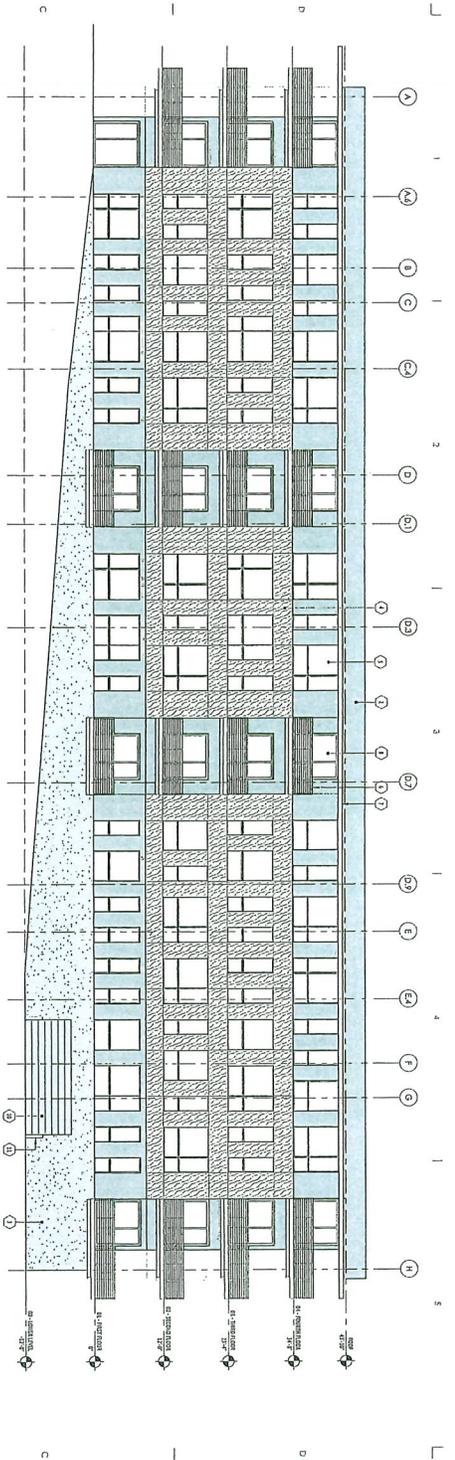
DESIGNED BY:	DJS	DRAWN BY:	BGH
CHECKED BY:	DJS	DATE:	07/29/2020
SHEET:	4	OF:	11
SHEET:	4	FILE NO.:	19-104

19-104

A1 SOUTH ELEVATION
Scale NTS



C1 EAST ELEVATION
Scale NTS



- SYMBOL ELEVATION FINISHES**
- 1 HALF-PANED GLASS CURTAIN WALL
 - 2 FINISH CONCRETE WALL
 - 3 FINISH CONCRETE CURTAIN WALL
 - 4 FINISH CONCRETE CURTAIN WALL
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ARCHITECTS SCHIPPER KASTNER 3714 Ingersoll Ave., 5th, A, Des Moines, IA 50312 office: 515.277.4767 ARCHITECTURE INTERIORS PLANNING

DESIGNER: ASK STUDIO
 PROJECT: A201
 PROJECT: 19507
 DES MOINES, IOWA
 SCHEMATIC DESIGN - NOT FOR CONSTRUCTION

TRACT I PROPOSED BUILDING

3801 GRAND AVENUE - PUD

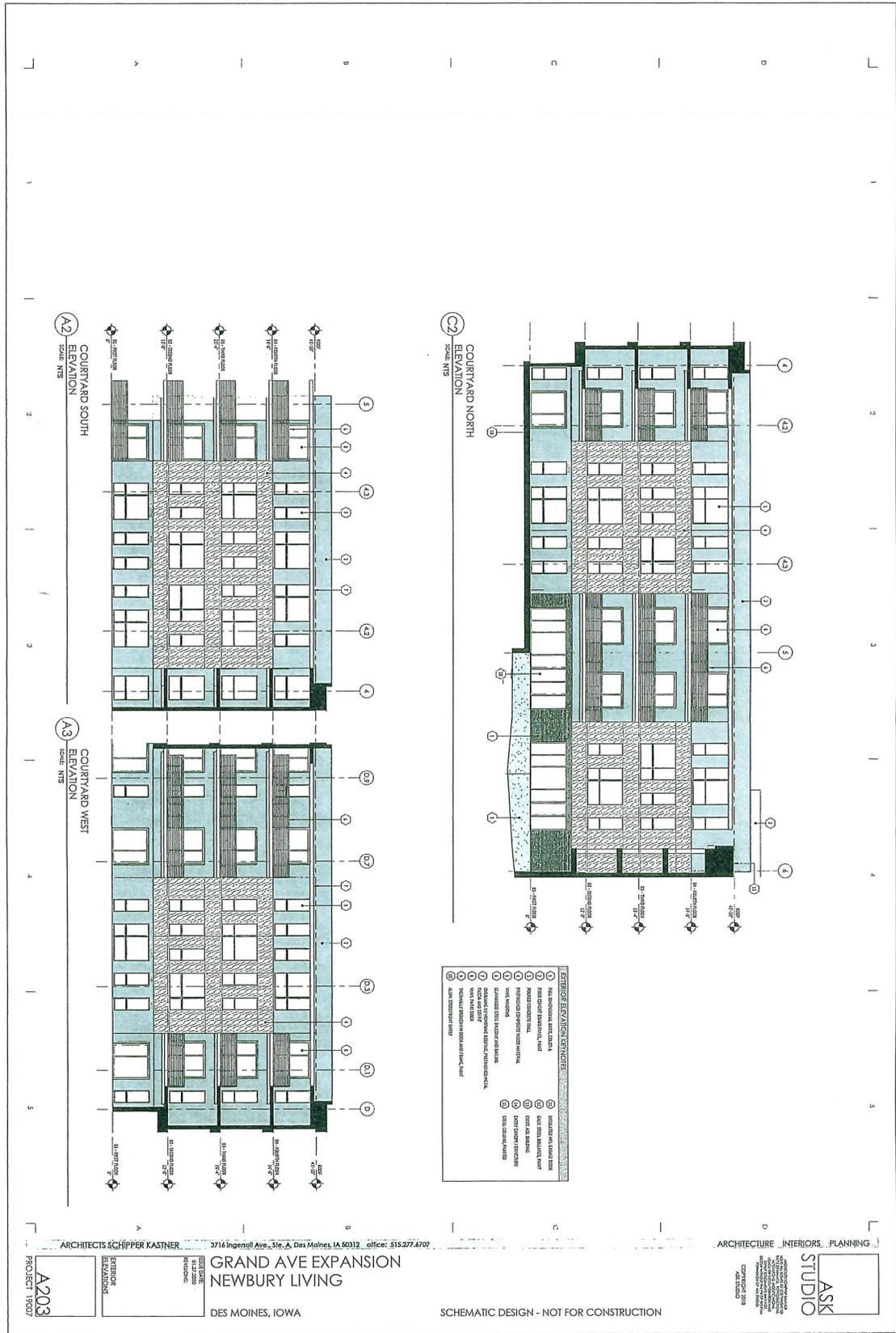
ERG Engineering Resource Group, Inc. Engineers and Surveyors 2415 GRAND AVENUE DES MOINES, IOWA 50312 (515) 288-4823	NO.	REVISION	DATE	BY	FOR:	LOCATION:	SCALE: 1" = 30'	DESIGNED BY: DJS	DRAWN BY: PJV
							OWS: 18-104-PUD-0105-REV-4.44	CHECKED BY:	DATE: 01/29/2020
							FIELD BOOK:	SHEET B OF 11	FILE NO.: 19-104



TRACT I PROPOSED BUILDING

PUD-9

ERG Engineering Resource Group, Inc. Engineers and Surveyors 2415 GRAND AVENUE DES MOINES, IOWA 50312 (515) 288-4823	3801 GRAND AVENUE - PUD				LOCATION:	SCALE: 1" = 30' DWG: 19-101-PUD-01-00-01-11V-0.dwg FIELD BOOK:	DESIGNED BY: DJS CHECKED BY:	DRAWN BY: PJV DATE: 01/29/2020 FILE NO.: 19-104
	NO. REVISION DATE BY FOR:							



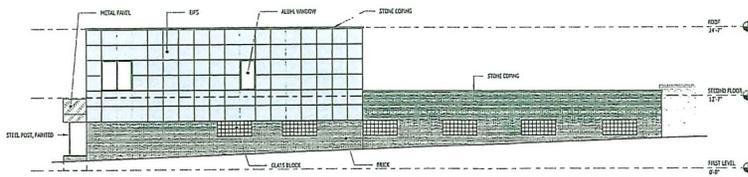
TRACT I PROPOSED BUILDING

3801 GRAND AVENUE - PUD

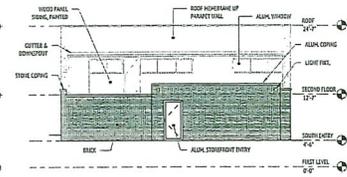
19-104
ERG
 Engineering Resource Group, Inc.
 Engineers and Surveyors
 2415 GRAND AVENUE
 DES MOINES, IOWA 50312
 (515) 288-4823

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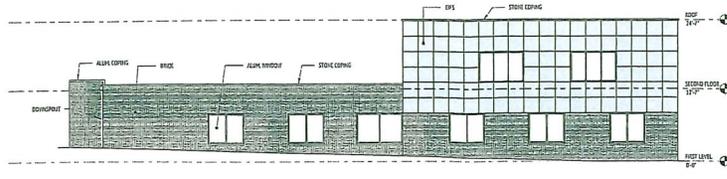
LOCATION:	SCALE: 1" = 30'	DESIGNED BY: DJS	DRAWN BY: PJV
	DWG: 19-104-PUD-100-REV-4.dwg	CHECKED BY:	DATE: 01/29/2020
	FIELD BOOK:	SHEET 10 OF 11	FILE NO.: 19-104



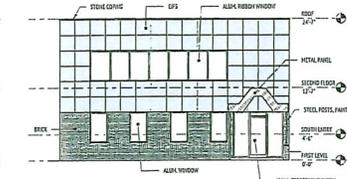
B2
3810 INGERSOLL - WEST
ELEV.
SCALE: NTS



B4
3810 INGERSOLL - SOUTH
ELEV.
SCALE: NTS



A2
3810 INGERSOLL - EAST
ELEV.
SCALE: NTS 1/4"



A4
3810 INGERSOLL - NORTH
ELEV.
SCALE: NTS

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TRACT 2 EXISTING BUILDING
3810 GRAND AVENUE - PUD

GRAND AVE EXPANSION
NEWBURY LIVING

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REVISION	DATE	REVISION
PROJECT 19007	3810 INGERSOLL ELEVATIONS	PROJECT 19007
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